In the performance of this contract, Contractor shall hold Landscape Designer and Owner harmless from any and all liability, costs and charges arising out of or in connection with, contractors, employees, or its agent's negligence, omissions, errors.

2. ERRORS OR CONFLICTS

1. CONTRACTOR RELATIONSHIP

If any errors or conflicts are discovered in the plans or notes, they shall be integrated so as to accomplish the real intent of the plans and notes.

3. ADDITIONS, DEVIATIONS AND ALTERATIONS

No deviations or alterations from the plans and specifications shall be permitted unless authorized by the Owner or Landscape Designer. Should deviation from plans and notes become necessary due to conflicting site conditions, Owner and Landscape Designer shall approve in advance any such deviation. No additional work shall be authorized without express written authorization from the Owner.

The Contractor shall comply with the obvious intent and meaning of the plans and specifications which shall be construed to include all labor, materials, tools and equipment necessary to complete the work specified herein in a workmanlike manner in strict accordance with plans and notes.

Contractor shall refer to Owner and Landscape Designer, whose decision thereon

5. OBSERVATION AND REJECTION OF MATERIALS AND WORKMANSHIP All materials and workmanship furnished or performed by Contractor shall be subject to final observation and acceptance by Owner and Landscape Designer upon completion of all contract work whether previously paid for or not. At any and all times during the performance of this contract, Contractor shall make available for observation, test and approval, materials and workmanship. Failure of such observers to make observation, tests or approvals shall not prejudice the right of the Owner or Landscape Designer on final observation. Contractor shall promptly replace any and all materials, workmanship or equipment which does not conform to the plans or notes. All materials used on this contract shall be new and the best maked quality unless otherwise specified.

6. SAMPLES

When so required by the Owner or Landscape Designer, Contractor shall submit for approval samples of the various materials, and specify finish thereon.

7. LOCAL CODES

All construction shall conform with to all local building codes and ordinances. It is Contractor's responsibility to verify all codes prior to commencing work. All colors, textures and materials shall be complimentary to that of the home and it's design intent. All new materials and design implementation shall conform to the HOA Design Guidelines if they apply.

All tree symbols shown on plan are diagrammatic and not intended to encroach over property wall and fences. The images depicted are for illustration purposes only and may differ occe the actual construction is complete. The plant material depicted does not necessarily represent the final landscape installation. Please refer to the Planting Plan for actual specimen and size.

01/09/2017

All proposed colors and textures shall be complimentary to that of the home, includin proposed structures, garden art, pottery and hardscape materials; shall match or be complimentary to the style of the existing home's architecture.

Front and rear hardscape materials to be compatible with house (driveways, walkways, patios, walls, pilasters, etc.).

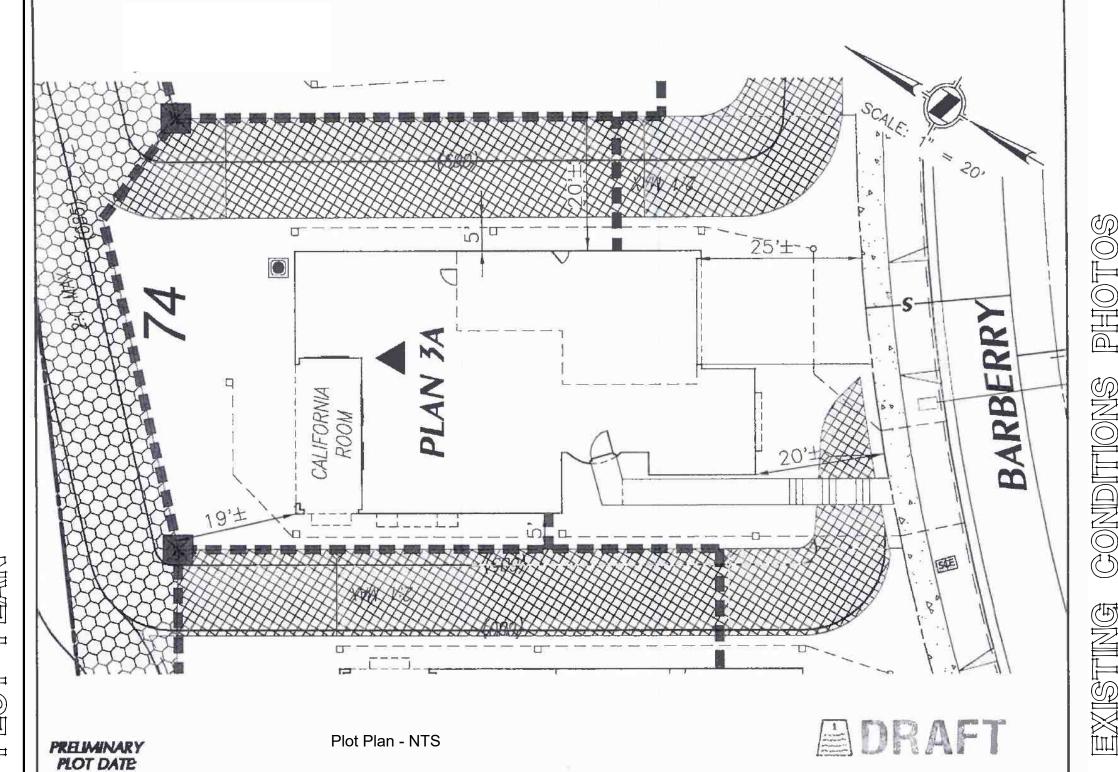
Do not fill dirt against any existing perimeter walls/fences. Must provide subwall between raised planter areas and existing walls and fences.

Do not attach any new walls to existing walls. Leave an air gap.

All planting areas visible from streets that are not completely covered with shrubs shall receive turf or living ground cover. Ground cover to be planted at 12" maximum on center spacing.

Pool and Spa construction and setbacks to be per local codes/requirements. Pool equipment to be screened from neighbor's second story view.





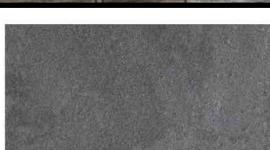








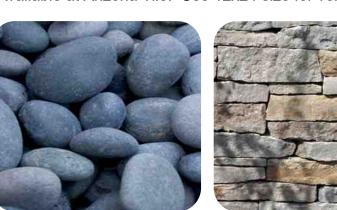




Porcelain Ammazzonia Dragon Black Exterior porcelain tiles. Available at Arizona Tile.

JUSTIM 2"x2" Mosaic Reside Beige 24x24

Porcelain tile accents. Available at Arizona Tile. Use 12x24 size for veneering.



Bedding Rock -Black Mexican Pebble



Flagstone veneering. Real stone. Dry staked. Tans and neutrals.



- **NEW PRE-FAB FOUNTAIN** NEW BUILT IN FOUNTAIN FEATURE
- **NEW RETAINING WALLS**
- **NEW WOOD GATES** NEW FIREPIT WITH LOUNGE SEATING
- **NEW METAL AWNING NEW LOW VOLTAGE LIGHTING**
- NEW DRAINAGE TO TIE INTO EXISTING
- **NEW LANDSCAPE**

SECTIONS AND ELEVATIONS

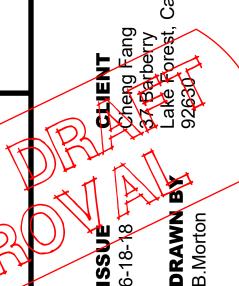
INDEX

GENERAL PLAN

SKETCHES LANDSCAPE

RENDERINGS

NEW HARDCAPE



Index Page



Brad Morton

Owner, Principal Designer

Michael J. Bunganich

Landscape Architect - CA. Lic 2041

16 STYLE DRIVE

ALISO VIEJO

CA. 92656

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BAKER RANCH - Jake Turnet -

FORM C WATER QUALITY MANAGEMENT

BEST MANAGEMENT PRACTICE GUIDELINES

Page 1 of 2

In order to mitigate the potential water pollution concerns associated with human habitation, the California Water Quality Management Board has set strict guidelines for Baker Ranch's residents regarding the effects of runoff and storm water pollution.

One of the most sensitive and carefully monitored phases of Baker Ranch is the construction period. The requirements are not merely restricted to the development and construction managed by the Builders - construction by Owners will also be scrutinized and subject to very severe fines.

To be certain that you understand and accept responsibility for any violations associated with your proposed Improvements; each Owner is required to make a copy of this section. It must be signed and returned by you as a required part of your architectural submittal. You must also make a copy for any contractors or consultants whom you employ to ensure their compliance with these requirements, and you should make them responsible for any fines which you may incur as a result of their violation of same. The Master Association or Neighborhood Association will monitor construction activities as well as check on Best Management Practices; however, the Owner will be solely responsible for any fines incurred by the Master Association or Neighborhood Association as a result of infractions initiated at Owner's Residence. The Master Association or Neighborhood Association will take whatever legal action is necessary to ensure compliance and collect for infractions charged to the Master Association or Neighborhood Association as a result of Owner or Owner's contractor's or consultant's acts or negligence or failure to comply with these requirements.

The following requirements are not meant to be all-inclusive of Regional Water Quality Control Board requirements or of any other agency. It should be understood that any applicable agency's rules and requirements may/will be applied and may supersede these Guidelines. All resulting fines imposed on the Master Association, or Neighborhood Association or the Owner will be the responsibility of the

- 1. No construction materials, chemicals or substances may be disposed of or poured into the area drains, street and/or gutter.
- 2. Area drains should be shielded and/or covered to ensure that construction by-products and/or chemicals are not washed into them.
- 3. No tools or equipment may be rinsed off on the property in a manner that causes the water to reach the area drains, street and/or gutter.
- 4. No unprotected stockpiling of sand, gravel, dirt or other materials in the street is permitted.
- 5. Any sand, gravel, dirt or other materials piled/stored on the driveway or Owner's Lot must be effectively covered to prevent rain or irrigation water runoff from carrying material residue into the area drains, street and/or gutter.
- 6. In the event of a runoff event or spill, sandbags must be strategically placed to ensure that no substance makes its way into the area drains and/or storm drains.
- 7. Hoses and/or irrigation should not be allowed to run in a manner that causes water or any substance to wash into the area drains, street and/or gutter.
- 8. Containers for hazardous materials such as paint, concrete, chemicals, etc. must be in good condition and not allowed to spill or leak onto the ground or be washed into the area drains, street and/or gutters.
- No products or chemicals should be buried for disposal.
- 10. Trash and debris should be properly contained and disposed of off site.
- 11. No vehicles or equipment should be allowed to leak oil anywhere.
- 12. No portable restroom facility may be allowed in the street and those stored on the Owner's property must be in proper working order so that no waste leaks.
- 13. Pesticides and/or fertilizers must be monitored and properly used and stored.
- 14. No irrigation runoff should reach the street and/or gutter as such runoff may carry chemicals from pesticides, fertilizers, etc., into the storm drain.

THE BASIC GOAL IS TWO-FOLD:

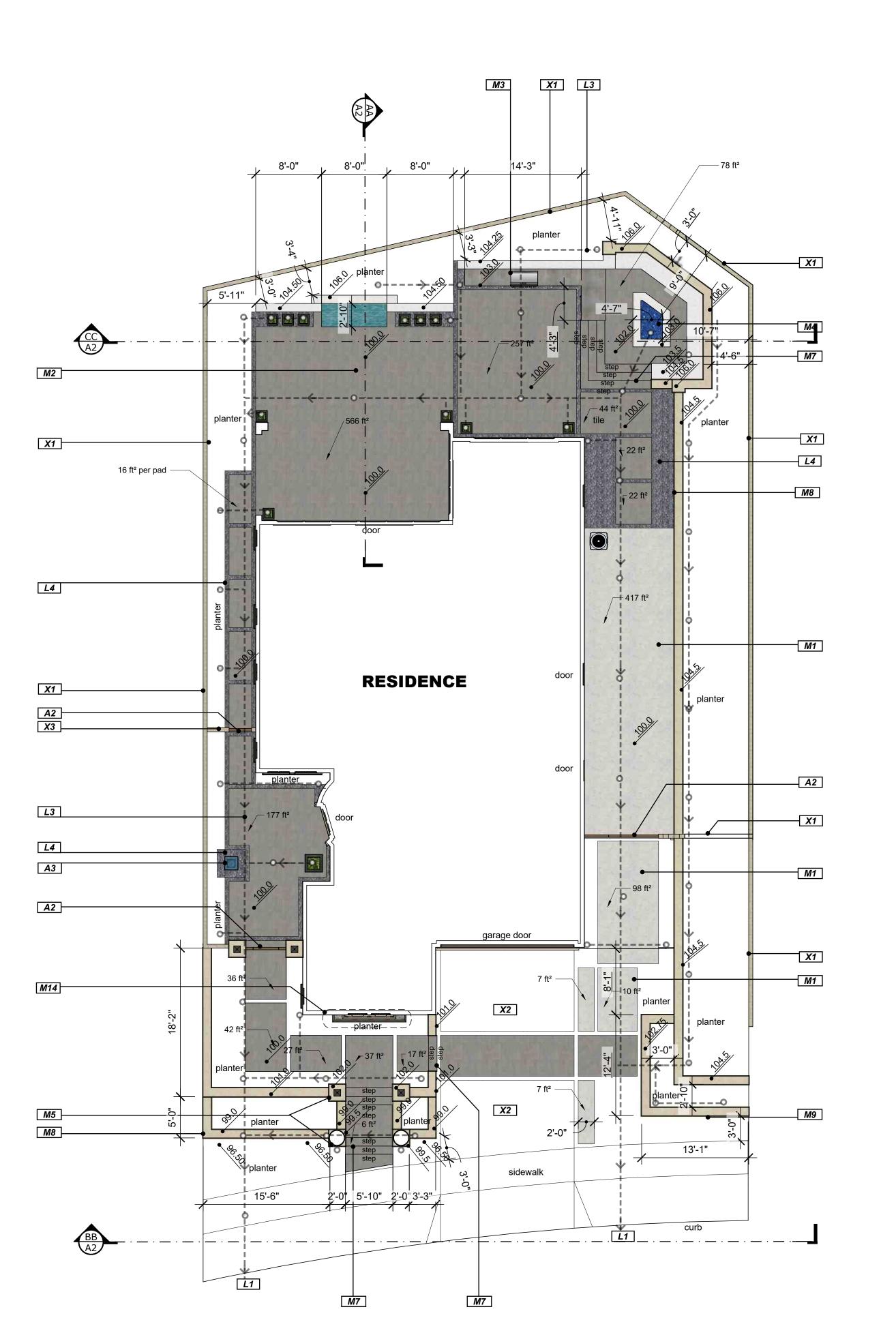
- No materials, other than rainwater, should be allowed to flow into the area drains and/or
- No chemicals or products should be allowed to contaminate the groundwater supply.

I am the homeowner of record for the residence noted below. I have read and understand the Water Quality Management - Best Management Practice Guidelines and agree to inform my contractors and consultants of same and to diligently pursue their compliance with such guidelines. I also understand my liability in the event of an infraction resulting in a fine against me, the Master Association or Neighborhood Association. I understand that I will be held personally responsible for any fines and/or fees levied against me, the Master Association, or Neighborhood Association as a result of any infractions caused by me, my contractors and my consultants in connection with the construction, maintenance, or activities on my Lot.

Signature Project Name & Builder

GENERAL LANDSCAPE NOTES

- 1. ALL LANDSCAPE CONSTRUCTION SHALL CONFORM TO CITY BUILDING CODES AND STANDARD DRAWINGS.
 2. ALL PLANTING AREAS TO RECEIVE A 2" LAYER OF 'FOREST FLOOR' MULCH AT THE COMPLETION OF PLANTING.
- 3. PROVIDE LINEAL ROOT BARRIERS FOR ALL TREES AND PODOCARPUS WITHIN 5' OF EDGE OF WALLS AND PAVING. 4. THE PROPERTY OWNER WILL CONTINUALLY MAINTAIN ALL LANDSCAPE AREAS PER ASSOCIATION GUIDELINES.
- 5. CONTACT 'DIG- ALERT' PRIOR TO ANY EXCAVATIONS TO LOCATE ALL UNDERGROUND UTILITY LOCATIONS FOR GAS LINES, WATER LINES, SEWER LINES.AND UNDERGROUND ELECTRICAL SERVICE.
- 6. APPLY 'ROUND-UP' TO ALL LANDSCAPE AREAS FOR A COMPLETE WEED KILL PRIOR TO PLANTING. 7. SOIL PREPARATION: ALL PLANTING AREAS TO BE CULTIVATED WITH THE FOLLOWING AMENDMENTS:
- GREENWAY BEST SOIL CONDITIONER OR EQUAL PER MANUFACURER SPECIFICATIONS GYPSUM: 50 LBS. PER 1000 SQ, FT. IF REQUIRED GROPOWER PREMIUM GREEN IRON PER MANUFACURER SPECIFICATIONS
- GROPOWER PLUS FERTILIZER/ 30 LBS. PER 1000 SQ. FT. PER MANUFACURER SPECIFICATIONS APPLY GROPOWER SLOW RELEASE 7 GRAM PLANTING TABLETS TO ALL NEW PLANTINGS.
- 8. ALL STRUCTURAL DESIGN AND ENGINEERING FOR THE ATTACHED SHADE LOGGIA SHALL BE PROVIDED BY THE PROJECTS STRUCTURAL ENGINEER AND SHALL CONFORM TO CITY STANDARD PLANS, DETAILS
- AND SPECIFICATIONS. CONTRACTOR SHALL OBTAIN ALL CITY APPROVALS, PERMITS AND INSPECTIONS AS REQUIRED. 9. ALL STRUCTURAL DESIGN FOR THE SPA/ WATER FEATURE SHALL BE PROVIDED BY THE PROJECT SPA
- CONTRACTOR AND SHALL CONFORM TO CITY STANDARD PLANS, DETAILS AND SPECIFICATIONS.
 SPA CONTRACTOR SHALL OBTAIN ALL CITY APPROVALS, PERMITS AND INSPECTIONS AS REQUIRED.
- 10. ALL GATES AND DOOR ALARMS SHALL CONFORM TO SPA SAFETY REQUIREMENTS 11. LANDSCAPE CONTRACTOR SHALL OBTAIN ALL HOA APPROVALS. CITY PERMITS AND INSPECTIONS AS REQUIRED.
- 12. REFER TO PROJECT SOIL REPORT AND STRUCTURAL ENGINEERING DETAILS AND SPECIFICATIONS FOR ALL WALL AND PAVING CONSRUCTION INCLUDING BASE PREPARATION, STEEL REINFORCEMENT AND CONCRETE MIX SPECIFICATIONS.
- PROPOSED METHOD OF IRRIGATION ALL PLANTING AREAS WILL BE AUTOMATICALLY IRRIGATED USING LOW FLOW 'NETIFIM', BUBBLERS, DRIP EMMITERS, AND LOW FLOW POP UP SPRAY HEADS WITH PERCISION NOZZLES.
- PROVIDE A PRESSURE REGULATOR AT POINT OF CONNECTION FOR THE IRRIGATION SYSTEM.
- INSTALL IRRIGATION BACKFLOW DEVICES PER CITY STANDARDS AND MANUFACTURES SPECIFICATIONS.
- PROVIDE BUBBLERS OR DRIP TO ALL NEW TREES AND 15 GAL ACCENT PLANTS. PROVIDE PRESSURE REGULATING CHECK VALVES AS REQUIRED TO PREVENT ANY LOW HEAD DRAINAGE PROVIDE A NEW 'SMART' IRRIGATION CONTROLLER MOUNTED IN GARAGE
- ALL IRRIGATION PRESSURE MAINLINES TO BE PVC SCH 40. MIN. 18" DEEP AND INSTALLED IN PVC SLEEVES WHEN UNDER PAVED ALL IRRIGATION NON PRESSURE LATERALS TO BE PVC SCH 40. MIN. 12" DEEP AND INSTALLED IN PVC SLEEVES WHEN UNDER PAVED
- ALL IRRIGATION EQUIPMENT TO BE PROFESSIONAL GRADE BY 'TORO' OR APPROVED EQUAL. INSTALLALL EQUIPMENT PER MANUFACTURED DETAILS AND SPECIFICATIONS.
- PROVIDE IRRIGATION SYSTEM FOR 100% COVERAGE WITH NO OVERSPRAY ONTO SIDEWALKS, STREETS, BUILDINGS, WALLS AND STRUCTURAL ELEMENTS. WATER SUPPLY SHALL BE FROM THE POTABLE WATER METER. ALL IRRIGATION SHALL CONFORM TO THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE.



POURED IN PLACE SQUARE FEET TOP OF WALL ELEVATION TOP OF DECK ELEVATION UNLESS NOTED OTHERWISE

FINISHED FLOOR ELEVATION FINISHED GRADE ELEVATION LINEAR FEET TOP OF EXISTING WALL ELEVATION T.E.W. TOP OF NEW WALL ELEVATION TOP OF WATERLINE ELEVATION TOP OF COPING OR CAP ELEVATION TOP OF STRUCTURE ELEVATION

EQUIVALENT

KEY NOTES

EXISTING CONDITIONS/DEMO NOTES

- **X1** Existing masonry wall to remain.
- **X2** Existing driveway. Sawcut to accommodate proposed stone and banding inlays.
- **X3** Existing masonry wall return to house. Notch for new wood gate/access.

MASONRY NOTES

- M1 New concrete decking. Natural colored, washed finish.
- **M2** Porcelain tile decking over new and existing (under balcony) concrete sub-decking.
- **M3** New barbeque. All appliances to be purchased by contractor and installed by contractor. Provide gas and electrical to location. Slab type countertop design slab to be selected by owner, installed by contractor. Stucco veneer to match existing stucco on home.
- **M4** New firepit. Provide gas to location with valve. Interior fill material to be determined by owner,
- M5 New pilaster. Stone veneering with precast concrete cap. See plan for height callouts. Stub for decorative low voltage lighting and/or potted planter.
- **M6** Porcelain tile stepping pads set on concrete sub-deck. See materials list for type and color.
- **M7** Steps. Porcelain tile over concrete sub-deck.
- New retaining wall. CMU construction. See plan for height. Stucco veneer with poured in place cap. Design by structural engineer.
- M9 New retaining wall. CMU construction. See plan for height. Stone veneer with poured in place cap. Design by structural engineer.
- **M10** New masonry fountain feature with decorative porcelain tile finish. Seperate equipment set on side yard.
- M11 New masonry planter wall with living wall feature. Veneer to be decorative porcelain tile finish. See materials notes for type.
- M12 New masonry planter wall with living wall feature. Veneer to be decorative porcelain tile finish. See
- New masonry lounge seating surrounding firepit. Tile veneer and cap with poured in place wall cap. See
- materials list for details.
- **M14** New stone veneering overlay on existing stucco apron.
- **M15** New full height pilaster (6'-6") at proposed new gate. Stone veneering with precast concrete cap. See plan for height callouts. Stub for decorative low voltage lighting and/or potted planter

ACCESSORY NOTES

- A1 New wood gate. Stain grade wood finish. See detail for stain color.
- A2 New wood gate and fence return, with frosted glass window. Stain grade wood finish. See detail for stain color.
- A3 New prefab water feature with black rock "waterless basin". Height not to exceed 36" from surrounding grade. Owner to select fountain, contractor to install. Fixture to fit design theme of home. Use submersible pump for this particular feature. Provide electrical service for fountain, connected to time clock.

STRUCTURE NOTES

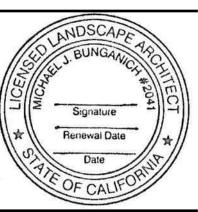
New iron trellis off home. Powder coated steel to match iron details of home/balcony railing. Supported from diagonal bracing.

LANDSCAPE NOTES

- **L1** Existing drainage to remain where possible. Tie all new deck and yard drainage new system into existing at point of new construction.
- **L2** Potted planter location. Owner to purchase pots, contractor to install.
- Provide drip irrigation to each location and 2" PVC drain.
- L3 New 4" SDR35 Drainage system throughout project. All new. Tie into existing system at edge of new work/existing work. All new water to exit through existing curb core. 2% min. fall for all landscape drainage, 1% for all hardscape.
- **L4** Black Mexican pebble planter bed where shown. Set on weed barrier.

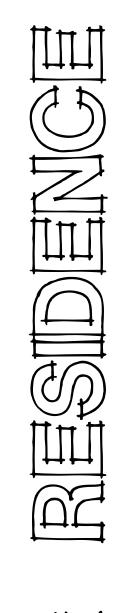


Brad Morton Owner, Principal Designer Michael J. Bunganich Landscape Architect - CA. Lic 2041



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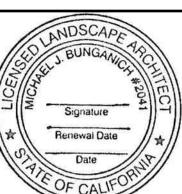
General Plan

scale 1/8" = 1



MORTON DESIGN GROUP

Brad Morton
Owner, Principal Designer
Michael J. Bunganich
Landscape Architect - CA. Lic 2041



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BESIDENICE BESIDENICE

6-18-18 Cheng Fang B.Morton BY 92630

Sections & Elevations





MORTON DESIGN GROUP

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Owner, Principal Designer
Michael J. Bunganich
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DENICE DENICE

6-18-18 CHENT
6-18-18 Cheng Fang
37 Barberry
Lake Forest, Ca.
92630

Sketches

PLANTING SPECIFICATIONS

PART 1 - GENERAL

1.01 SCOPE:

A. FURNISH LABOR, MATERIALS AND EQUIPMENT TO COMPLETE PLANTING WORK AS INDICATED AND

1.02 GENERAL CONDITIONS:

- A. THE PLANTING DESIGN AS INDICATED ON THE DRAWINGS IS DIAGRAMMATIC. SCALED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING WITH WORK, CHECK AND VERIFY SITE DIMENSIONS.
- B. DO NOT INSTALL PLANTING WHEN UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DISCREPANCIES IN AREA DIMENSIONS EXIST. IMMEDIATELY BRING DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. IF NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REVISIONS NECESSARY.
- C. COORDINATE INSTALLATION OF PLANTING TO AVOID CONFLICTS WITH IRRIGATION WORK, UTILITIES, OR ENGINEERING AND ARCHITECTURAL FEATURES. VERIFY REQUIRED SETBACKS FROM UTILITIES.
- D. PROTECT INSTALLED CONTRACT WORK AND WORK OF OTHERS.
- E. APPLY AND PAY FOR NECESSARY PERMITS AND FEES REQUIRED IN PURSUIT OF WORK AS REQUIRED
- F, LOCAL, MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO A
- PORTION OF THIS WORK ARE HEREBY MADE A PART OF THESE SPECIFICATIONS
- G. KEEP PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH INCIDENTAL TO WORK DURING CONSTRUCTION AND MAINTENANCE PERIOD. BROOM CLEAN ALL PAVED AREAS.
- H. NOTE ALL FINISH GRADES BEFORE COMMENCING WORK. LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED TO +/-0.10, UNLESS NOTED DIFFERENTLY ON THE PLANS. RESTORE FINISH GRADES CHANGED DURING COURSE OF THIS WORK TO ORIGINAL OR INTENDED CONTOURS WHERE PRACTICAL.
- . DO NOT PROCEED WITH THE PLANTING INSTALLATION UNTIL THE IRRIGATION SYSTEM IS INSTALLED AND

1.03 SUBMITTALS:

OPERABLE.

- A. WRITTEN GUARANTEE 1. ALL TREES SHALL BE GUARANTEED TO LIVE IN A HEALTHY CONDITION FOR ONE YEAR FOLLOWING THE DATE OF COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD. THIS DATE SHALL BE
- DETERMINED BY THE OWNER'S REPRESENTATIVE AT FINAL OBSERVATION. 2. REPLACE DEAD OR UNHEALTHY TREES IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE, AT NO COST TO THE OWNER, REPLACEMENT TREES SHALL MEET THE SAME AS THE ORIGINAL TREES. REPLACEMENT TREES SHALL BE GUARANTEED FOR ONE YEAR AFTER THEIR REVIEW BY THE OWNER'S REPRESENTATIVE
- 3. INSTALL AND STAKE TREES AS ORIGINALLY SPECIFIED AT NO COST TO THE OWNER. 4. ALL SHRUBS AND GROUND COVER SHALL BE GUARANTEED AS TO THE GROWTH AND HEALTH FOR A PERIOD OF NINETY DAYS AFTER THE COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD.
- (SEE ITEM #B.1) 5. SIGNS OF FAILING GROWTH AT ANY TIME DURING LIFE OF CONTRACT, INCLUDING MAINTENANCE PERIOD, OR THOSE PLANTS SO INJURED OR DAMAGED AS TO RENDER THEM UNSUITABLE FOR PURPOSE INTENDED, SHALL BE IMMEDIATELY REPLACED IN KIND AND SIZE AT THE EXPENSE OF
- 6. WITHIN FIFTEEN (15) DAYS OF NOTIFICATION, REMOVE AND REPLACE ALL GUARANTEED PLANT MATERIALS WHICH, FOR ANY REASON, FAIL TO MEET REQUIREMENTS OF GUARANTEE. REPLACEMENT SHALL BE MADE WITH PLANT MATERIALS AS INDICATED OR SPECIFIED FOR ORIGINAL PLANTING AND ALL SUCH REPLACEMENT MATERIALS GUARANTEED OR SPECIFIED FOR ORIGINAL GUARANTEED MATERIALS SHALL MATCH EXISTING REMAINING PLANTS OF SAME TYPE AND SIZE.

C. STATEMENTS OF CONFIRMATION:

- 1. SUBMIT AT THE TIME OF DELIVERY INVOICE STATEMENTS FOR ORGANIC AMENDMENTS AND FERTILIZERS CERTIFYING DELIVERY TO THE SITE AND QUANTITIES BY BULK AND/OR WEIGHT.
- 2. SUBMIT SUPPLIERS' STATEMENTS OF CONFIRMATION RECORDING COMPLIANCE OF ORGANIC AMENDMENTS AND FERTILIZERS WITH THESE SPECIFICATIONS.

D. SAMPLES AND TESTS

- 1. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO TAKE AND ANALYZE ADDITIONAL SAMPLES OF SOIL FOR CONFORMITY TO SPECIFICATIONS AT ANY TIME. FURNISH SAMPLES UPON REQUEST BY LANDSCAPE ARCHITECT.
- 2. OWNER RESERVES THE RIGHT TO REJECT CONTRACTOR'S SUBMITTED LANDSCAPE IMPORT SOIL IF IT WILL REQUIRE AMENDING NOT COVERED UNDER THE ORIGINAL CONTRACT
- 3. IMMEDIATELY REMOVE REJECTED MATERIALS FROM THE SITE, AT CONTRACTOR'S EXPENSE. COST OF TESTING OF MATERIALS NOT MEETING SPECIFICATIONS SHALL BE PAID BY CONTRACTOR. 4. ORGANIC AMENDMENT: SUBMIT WITHIN 30 DAYS AFTER NOTICE TO PROCEED A SAMPLE
- OF SPECIFIED MULCH TO THE OWNER'S REPRESENTATIVE. 5. IMPORT SOIL: OWNER RESERVES THE RIGHT TO REJECT SOIL DELIVERED TO THE SITE THAT DOES
- NOT MEET THE APPROVED TEST RESULTS AND/OR THE SPECIFICATIONS. 6. SUBMIT SUPPLIERS STATEMENTS OF CONFIRMATION RECORDING COMPLIANCE OF ORGANIC AMENDMENTS AND FERTILIZERS WITH THESE SPECIFICATIONS.

PART 2 - PRODUCTS

2.01 GENERAL

- A. PROVIDE MATERIALS OF BEST RECOMMENDED QUALITY OBTAINABLE WHICH COMPLY WITH DRAWINGS AND SPECIFICATIONS
- B. NO SUBSTITUTION OF SPECIFIED MATERIALS SHALL BE MADE WITHOUT REVIEW BY THE OWNER'S REPRESENTATIVE.

2.02 IMPORT SOIL:

A. PROVIDE FRIABLE SANDY LOAM TEXTURE SOIL WITH 65% SAND, 10% CLAY AND 25% SILT. 1. SOIL SHALL BE FREE OF ROOTS, CLODS AND STONES LARGER THAN 1 INCH IN DIAMETER, WEEDS, STICKS, BRUSH, AND OTHER LITTER, INFESTATION OF UNDESIRABLE INSECTS AND PLANT DISEASE.

SALINITY: THE SATURATION EXTRACT CONDUCTIVITY SHALL NOT EXCEED 3.5 MILLIMHOS/CM AT 25 C. BORON: THE CONCENTRATION IN THE SATURATION EXTRACT SHALL NOT EXCEED TO 1.0 PPM. 3. SODIUM: THE SODIUM ABSORPTION RATIO (SAR) AS CALCULATED FROM ANALYSIS OF SATURATION EXTRACT SHALL NOT EXCEED 4.0 PPM.

2.03 SOIL CONDITIONER - 'GREENWAY BEST' OR APPROVED EQUAL' A. ORGANIC AMENDMENT SHALL BE DERIVED FROM WOOD OR BARK, GRANULAR IN NATURE, STABILIZED

- WITH NITROGEN, FORTIFIED WITH MINERALS. AND HAVING THE FOLLOWING PROPERTIES: 1. PARTICLE SIZE:
- MIN. 95% PASSING 4 MESH SCREEN MIN, 80% PASSING 8 MESH SCREEN
- 2. NITROGEN CONTENT (ALL VALUES BASED ON DRY WEIGHT) 0.5% FOR REDWOOD SAWDUST, 0,7% FOR FIR SAWDUST, 1.0% FOR CEDAR SAWDUST, 1.0% FOR FIR OR PINE BARK. NOTE: PINE SAWDUST
- NOT ACCEPTABLE. 3. SALINITY - CONDUCTIVITY 3.5 MILLIMHOS/CM AT 25 C OR LESS AS DETERMINED IN SATURATION

EXTRACT CONDUCTIVITY. 4. ORGANIC CONTENT - MINIMUM 90% BY WEIGHT.

B. 5:3:1 (N-P-K) LAWN AREA

- A. ORGANIC MULCH SHALL BE CERTIFIED ORGANIC COMPOST MULCH BY "TERRA VERDE" OR APPROVED EQUAL, SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
- 2.05 FERTILIZERS AND ANCILLARY MATERIALS:
- A. FERTILIZER TABLETS: SLOW RELEASE, 7 GRAMS WITH MINIMUM GRADE 12-8-8.
- 1. TYPE: MIXED BY COMMERCIAL FERTILIZER SUPPLIER AND CONSISTING OF THE FOLLOWING RATIO BY WEIGHT: A. 5:3:1 (N-P-K) GENERAL USE
- 2. MANUFACTURER: GROW POWER, BEST, SIERRA CHEMICAL CO., OR APPROVED EQUAL
- PRE-EMERGENCE HERBICIDE: RONSTAR G50 WP BY RHONE-POULENC, INC. OR SURFLAN BY ELANCO. SOIL CONDITIONER/FERTILIZER: GRO-POWER PLUS WITH 4% SULFUR, BY GRO-POWER, INC.

SOIL SULFUR(S): MINIMUM 95% ELEMENTAL SULFUR.

- C. PROTECTION: HANDLE AND STORE PLANTS TO PROTECT FROM SUN, WIND AND OTHER INJURIES. INJURY SHALL BE CAUSE FOR REJECTION EVEN AFTER INITIAL REVIEW.
- D. QUANTITIES: CIRCLES AND DOTS INDICATING PLANTS ON THE PLANS ARE THE AUTHORITY TO PLANT
- COUNTS, AND SHALL BE FURNISHED AS DRAWN.

A. ALL TREE STAKING SHALL BE DONE WITH V.I.T. TWIST BRACES, 2 PER TREE. SEE TREE STAKING DETAIL 'A'

- B. TREE STAKES: ALL STAKES ARE TO BE LODGE POLE PINE WITH TAPERED DRIVING POINT AND CHAMFERED TOP. POLES SHALL BE TREATED WITH A WOOD PRESERVATIVE PER INDUSTRY AND ENVIRONMENTAL STANDARDS. SEE DETAILS FOR POLE LENGTH. STAKING SHALL BE PER INDUSTRY
- C. MULTI-TRUNKED TREE GUYING SHALL BE DONE WITH THREE GUY WIRES PER PLANTING DETAIL AND SHALL UTILIZE (1) 'ORIGINAL TREE STRAP' BY GCS, INC., (800) 360-3584, PER TREE, GUY WIRES SHALL

BE PER DETAIL, AND SHALL BE SECURELY ANCHORED TO THE GROUND USING STAKES PER PLAN.

D. ROOT BARRIERS SHALL BE USED FOR ALL TREES PLANTED WITHIN 5' OF ANY HARDSCAPE, BUILDING, OR WALLS PER DETAIL 2, THE ROOT BARRIER SHALL BE CP-SERIES, BY CENTURY PRODUCTS, (714) 632-7083, OR APPROVED EQUAL. INSTALL AS PER DRAWING DETAILS AND AS PER MANUFACTURE RECOMMENDATIONS.

PART 3 - EXECUTION

- A. AFTER ESTABLISHMENT OF ROUGH GRADES, AND PRIOR TO SOIL PREPARATION, TILL SOIL TO UPROOT EXISTING WEEDS AND GRASSES AND REMOVE FROM SITE
- B. AFTER REMOVAL OF VISUAL WEEDS, ETC., APPLY 200 LBS, PER ACRE OF COMMERCIAL FERTILIZER 21-0-0. IRRIGATE (4) TIMES PER DAY DURING THE SUMMER SEASON AND (2) TIMES PER DAY DURING
- OTHER SEASONS FOR (3) WEEKS, OR UNTIL MOST WEEDS HAVE GERMINATED. C. SPRAY A NON-SELECTIVE CONTACT HERBICIDE PER MANUFACTURER'S DIRECTIONS TO ERADICATE
- THE GERMINATED WEEDS. ALLOW HERBICIDE TO KILL WEEDS. TILL SOIL TO UPROOT GERMINATED WEEDS AND GRASSES AND REMOVE FROM SITE. MINIMIZE SOIL DISTURBANCE ON SLOPES.

OR UNTIL NEW GROWTH APPEARS. REAPPLY HERBICIDE AND ALLOW TIME TO KILL WEEDS. REMOVE

- D. IF WEEDS AND GRASSES STILL EXIST, IRRIGATE (4) OR (2) TIMES PER DAY, AS ABOVE, FOR (2) WEEKS
- E. NO PRE-EMERGENT HERBICIDE SHALL BE USED IN LANDSCAPE AREAS WITH WOODY, NON-LAWN
- F. APPLY HERBICIDE AS A FINAL STEP AFTER SOIL CULTIVATION AND PLANTING IS IN PLACE, APPLY
- BEFORE BARK MULCH IS INSTALLED.
- DESIGNATED TREES SHALL BE REMOVED ENTIRELY INCLUDING ROOTBALL AND UNDERGROUND ROOTS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PLANTING AND FACILITES AND WILL RESTORE ANY DAMAGED AREAS TO PRE-EXISTING CONDITION BEFORE WORK COMMENCED
- A. GENERAL: SPREAD TOPSOIL OVER ACCEPTED SUBGRADES IN DESIGNATED AREAS PRIOR TO
- B. RESTRICTIONS: DO NOT COMMENCE SPREADING TOPSOIL PRIOR TO ACCEPTANCE OF SOIL CULTIVATION ABOVE. DO NOT PLACE SOIL UNDER MUDDY CONDITIONS.
- C. SOIL DEPTH: TOPSOIL DEPTH IS A MINIMUM DEPTH OF 24 INCHES, OR AS INDICATED IN DEPTH OF TOPSOIL IS AFTER NATURAL SETTLEMENT
- AND LIGHT ROLLING. CONFORM TO FINISHED GRADES ON THE DRAWINGS SEE CIVIL PLANS D. AMENDMENTS: INCORPORATE AMENDMENTS PER MANUFACTERE'S SPECIFICATIONS
- 3.04 PLANTING:

DIRECTED.

- 1. STAKE PLANT LOCATIONS OR PLACE RECOMMENDED QUANTITIES OF PLANTS IN CONTAINERS ON LOCATIONS, AND OBTAIN VERIFICATION FROM THE OWNER'S REPRESENTATIVE BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS
- 2. PLANT TREE, SHRUB AND GROUND COVER MATERIALS AS SOON AS THEY ARE DELIVERED TO THE SITE AND WEATHER CONDITIONS ARE SUITABLE FOR PERFORMANCE OF THE SPECIFICATIONS. DO NOT PLANT IF THE SOIL IS EXCESSIVELY
- 3. EXCAVATE PITS WITH VERTICAL SIDES AND ROUGHENED SURFACES. THE SIZE SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING MINIMIZING INJURY TO ROOTBALL, AND REMAIN 12 INCHES (UNLESS CALLED OUT DIFFERENTLY ON THE PLANS) OR MORE AWAY FROM CURBS AND PAVING.
- 4. A. PREMIUM BLENDED TOPSOIL PLANTER MIX 5. PLANTING TABLETS: 12:8:8 PLACE PER THE FOLLOWING SCHEDULE:
 - 3 TABLETS 6 TABLETS 15-GAL., 24 INCH BOX
- 12 TABLETS 30 INCH BOX/36 INCH BOX 15 TABLETS 42 INCH BOX/48 INCH BOX 21 TABLETS
- B. GROUND COVER 1. PLANT GROUND COVER TO COVER THE DESIGNATED AREAS AT THE SPECIFIED SPACING. 2. PLANT IN STRAIGHT ROWS, EVENLY SPACED USING TRIANGULAR SPACING UNLESS OTHERWISE
- 3. MOISTEN SOIL BEFORE PLANTING. RETAIN SLIGHT DEPRESSION AROUND EACH PLANT, AND FINISH WITH NEAT, UNIFORM NATURAL GRADE.
- 4. HAND WATER IMMEDIATELY AFTER INSTALLATION. PLANTS SHALL NOT BE ALLOWED TO DRY OUT BEFORE, DURING, OR AFTER INSTALLATION.
- 1. SPREAD EVENLY THROUGHOUT ALL GROUND COVER AND SHRUB AREAS TO A DEPTH OF 3 INCHES ANY SLOPE AREAS GREATER THAN 3:1 WILL NOT RECEIVE ORGANIC MULCH.
- 2. PROTECT ALL PLANTS DURING APPLICATION OF MULCH. PLANTS DAMAGED DURING APPLICATION WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 3. APPLICATION OF CHEMICAL HERBICIDES SHALL BE AT THE RATE OF 12-13 POUNDS PER ACRE. MATERIAL SHALL BE APPLIED IN SOLUTION WITH WATER AS RECOMMENDED BY THE MANUFACTURER.
- 4. CONTRACTOR SHALL REMOVE FROM SITE, DEBRIS AND/OR WASTE MATERIALS DEVELOPED AS A RESULT OF THE WORK IN THIS SECTION. ALL PAVED SURFACES SHALL BE CLEAN OF DIRT OR
- MULCH WITH COMPLETION OF THIS SCOPE OF WORK. 5. AREAS OF MULCH SHALL BE MAINTAINED FREE OF WEEDS, FREE OF OTHER DEBRIS, AND TRUE TO GRADE UNTIL FINAL ACCEPTANCE AND UNTIL COMPLETION OF ANY CONTRACTED MAINTENANCE

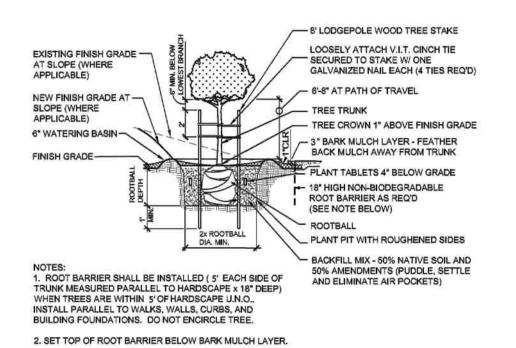
3.05 MAINTENANCE:

- A. MAINTAIN PROJECT FOR A PERIOD OF (90) CALENDAR DAYS, COMMENCING FROM TIME CONTRACT WORK HAS BEEN COMPLETED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY OWNER'S REPRESENTATIVE AT THE BEGINNING AND END OF THE 90-DAY MAINTENANCE PERIOD.
- B. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, TRIMMING, PRUNING, WATERING, FERTILIZATION, WEED CONTROL, CULTIVATION, PEST CONTROL, OPERATION, ADJUSTMENT AND REPAIR OF THE IRRIGATION SYSTEM, AND CLEAN-UP.
- C. APPLY COMMERCIAL FERTILIZER 5:3:1 AT THE RATE OF 20 LBS, PER 1,000 SQ.FT. FOR ALL PLANTED AREAS, 45 DAYS AFTER THE BEGINNING OF THE MAINTENANCE PERIOD.
- D. PROTECT NEWLY PLANTED AREAS FROM FOOT TRAFFIC, VANDALISM, BURROWING ANIMALS AND EROSION. REPAIR AND REPLANT DAMAGED AREAS.
- E. RE-PLANT AREAS THAT DO NOT SHOW A PROMPT ESTABLISHMENT OF PLANT MATERIALS. REPLACE DEAD AND MISSING PLANTS.
- F. COMPLETION OF PROJECT MAINTENANCE AND PLANT ESTABLISHMENT WILL BE REVIEWED BY THE OWNER'S REPRESENTATIVE.

3.06 OBSERVATION SCHEDULE:

A. A PRE-JOB CONFERENCE SHALL BE REQUIRED BEFORE PROCEEDING WITH WORK UNDER THIS CONTRACT. AN OBSERVATION SCHEDULE SHALL BE DETERMINED AT THIS TIME FOR ALL WORK OBSERVATIONS SHALL INCLUDE, BUT NOT BE LIMITED TO, ONE MEETING AT THE START OF THE 60

N.T.S



(1) TREE PLANTING DETAIL WITH ROOT BARRIER

- The Association Property and Common Area trees, shrubs, groundcover and turf provided by the Builders are to be protected in-place during any construction and replaced in kind and size by the Master Association at the Owner's expense if damaged. Note on the landscape improvement plans the following: "All existing Association Property and parkway landscape shall be protected in place
- during all phases of construction." No trees, shrubs, or other plants shall be installed until plans and specifications have been approved by the DRC. The plans must show the proposed species, locations and installed sizes. The plans must indicate whether any solar energy systems exist on any properties that border the Owner's Lot. If any such solar energy equipment exists on an adjoining property, the location, type and future height of any proposed tree or shrub may be subject to limitations consistent with the Solar Declaration and/or the requirements of the Solar Shade Control Act. Owners may be required to submit a Solar Shade Study if applicable.
- The DRC shall have the right, but not the obligation, to require the Owner to remove, trim, or prune any tree, shrub, or plant which in the reasonable opinion of the DRC, unreasonably impedes the passage of light or air of any Lot and to
- shape and thin trees for wind resiliency and appearance. In addition to selecting landscape plants based upon aesthetic characteristics, consideration shall be given to relative drought-tolerance, solar aspect, and soil type within the Community

Trees with invasive root systems and deciduous / flowering / fruiting trees that

- drop excessive litter should not be proposed adjacent to Association Property or All trees planted within five (5) feet from perimeter walls and/or adjoining
- Residences must utilize a root barrier device. Owner assumes all liability and responsibility for any root damage from trees planted in their yards (including but not limited to walls, structures, utility lines, drainage and adjacent neighbor Improvements).
- Owner agrees to provide routine maintenance for all trees including, but not limited to, annual pruning and lacing. If the DRC deems any trees a nuisance, the Owner shall bear the expense of tree removal.
- Shrubs and vines are encouraged to be planted to screen or visually enhance blank wall areas.
- 10) Synthetic turf grass is acceptable in private front and rear yards and must either be Boone Action Turf "Irvine Fescue", or a comparable product with multiple height and width blades, multiple colors and a brown toned thatch as approved by the DRC. Synthetic putting greens are acceptable in private rear vard area only.
- Gravel, decorative rock and colored mulch are not permitted in front yards.

ALL PLANTING AREAS WILL BE AUTOMATICALLY IRRIGATED USING LOW FLOW 'NETIFIM', BUBBLERS,

INSTALL IRRIGATION BACKFLOW DEVICES PER CITY STANDARDS AND MANUFACTURES SPECIFICATIONS.

PROVIDE PRESSURE REGULATING CHECK VALVES AS REQUIRED TO PREVENT ANY LOW HEAD DRAINAGE

DRIP EMMITERS, AND LOW FLOW POP UP SPRAY HEADS WITH PERCISION NOZZLES.

PROVIDE A PRESSURE REGULATOR AT POINT OF CONNECTION FOR THE IRRIGATION SYSTEM.

ALL IRRIGATION PRESSURE MAINLINES TO BE PVC SCH 40. MIN. 18" DEEP AND INSTALLED IN PVC

ALL IRRIGATION EQUIPMENT TO BE PROFESSIONAL GRADE BY 'TORO' OR APPROVED EQUAL.

PROVIDE IRRIGATION SYSTEM FOR 100% COVERAGE WITH NO OVERSPRAY ONTO SIDEWALKS,

ALL IRRIGATION SHALL CONFORM TO THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE.

INSTALLALL EQUIPMENT PER MANUFACTURED DETAILS AND SPECIFICATIONS.

ALL IRRIGATION NON PRESSURE LATERALS TO BE PVC SCH 40, MIN. 12" DEEP AND INSTALLED IN PVC

PROVIDE BUBBLERS OR DRIP TO ALL NEW TREES AND <u>15 GAL</u> ACCENT PLANTS.

PROVIDE A NEW 'SMART' IRRIGATION CONTROLLER MOUNTED IN GARAGE

STREETS, BUILDINGS, WALLS AND STRUCTURAL ELEMENTS.

WATER SUPPLY SHALL BE FROM THE POTABLE WATER METER.

PROPOSED METHOD OF IRRIGATION

SLEEVES WHEN UNDER PAVED AREAS.

SLEEVES WHEN UNDER PAVED AREAS.

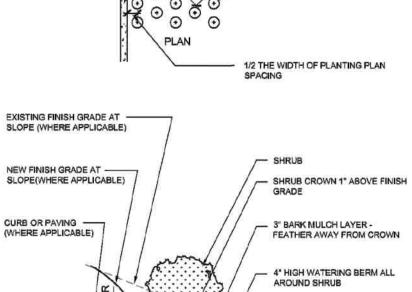
1. PROVIDE 3" BARK MULCH LAYER FOR ALL

PROVIDE EROSION CONTROL NETTING

ON SLOPES GREATER THAN 3:1.

EDGE OF PAVING, CURB, MOW -

CURB OR BUILDING

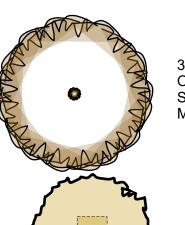


- SEE PLANTING PLAN

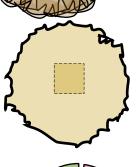
PLANT TABLETS 3" BELOW PLANT PIT W/ ROUGHENED BACKFILL MIX - 50% NATIVE SOIL AND 50% AMENDMENTS (PUDDLE, SETTLE AND ELIMINATE AIR POCKETS

(2) SHRUB/ GROUND COVER PLANTING DETAIL

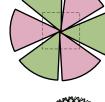
LANDSCAPE LEGEND



36" Box - Fruitless Olive Olea europaea / Swan Hill /Skylark Dwarf Mature Height: 25'



24" Box - Brisbane Box Tristania conferta



15 Gal. Crape Myrtle Lagerstroemia hybrid 'Hopi' Mature Height: 8'



Prunus caroliniana 'Compacta'

Rosemary 'Prostratus'

5 Gal. Prostrate Rosemary, Creeping

15 Gal. Compact Carolina Cherry Laurel



5 Gal. Winter Gem Boxwood Buxus microphylla japonica 'Winter Gem'2'



5 Gal. New Zealand Flax

Phormium tenax 'Maori Chief'

15 Gal. Dwarf Citrus Tree.

Assorted varieties.

Mature Height: 15'



Ligustrum texanum Mature height: 8'

15 Gal. Texas Privet



5 Gal. Variegated Dwarf Agave Agave desmettiana 'Variegata'

5 Gal. Blue Flame Agave

Agave shawii x attenuata 'Blue



Salvia leucantha 'Santa Barbara'

5 Gal. Bougainvillea 'Rasberry Ice'

5 Gal. Santa Barbara Mexican Bush Sage



5 Gal. Kangaroo Paw Angiozanthos flavidus

5 Gal. Arabian Jasmine

Jasminum sambac



1 Gal. 'Blue Chalk Stick' Senecio mandraliscae

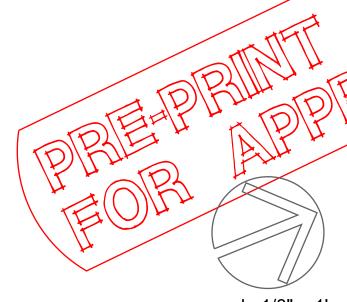
Mature height: 12"



Potted plant. See plan for plant type. Provide drip irrigation and 2" PVC drain to each location. Owner to purchase pottery, contractor to install



Potted plant on pilaster. Assorted Succulents Provide drip irrigation and 2" PVC drain to each location. Owner to purchase pottery contractor to install



scale 1/8" = 1

Brad Morton Owner, Principal Designe Michael J. Bunganich Landscape Architect - CA. Lic 2041



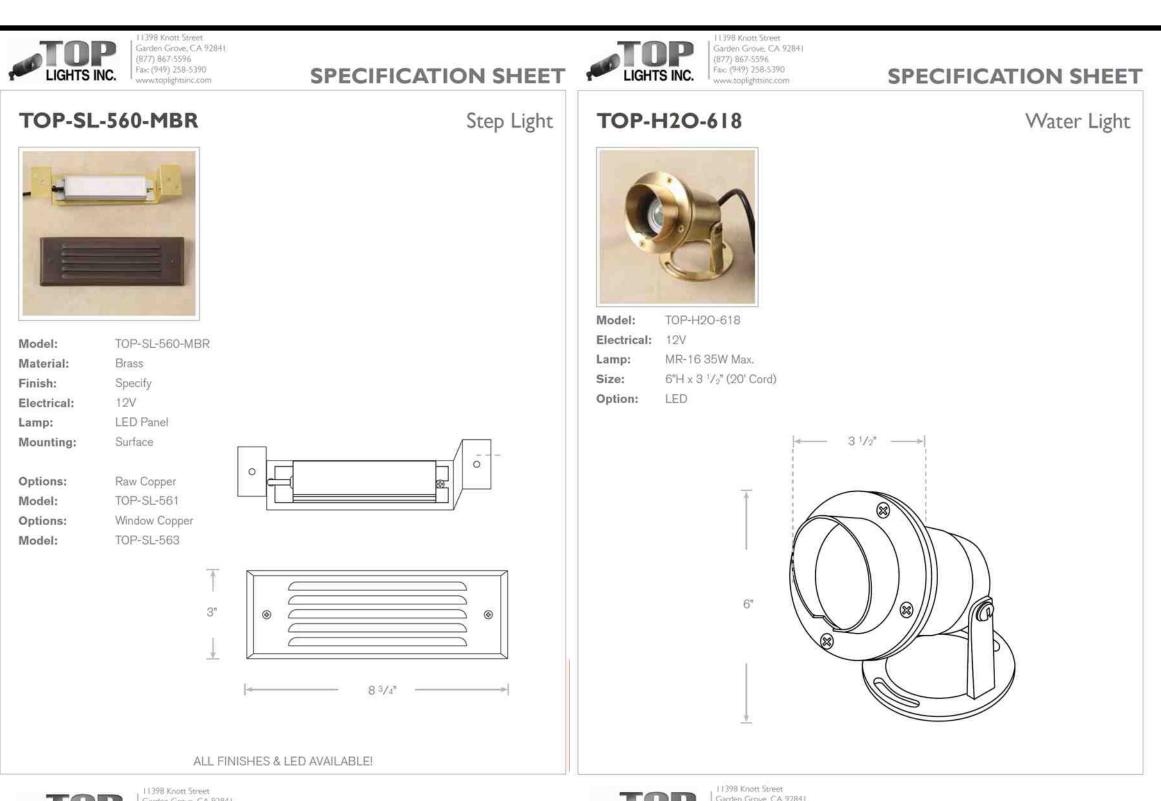
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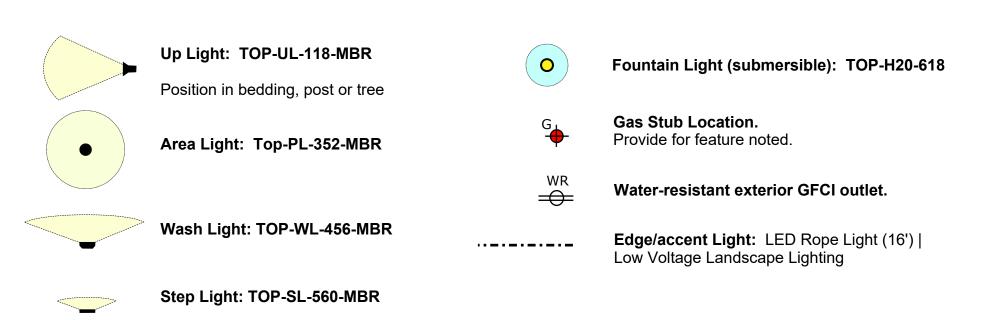
Landscape



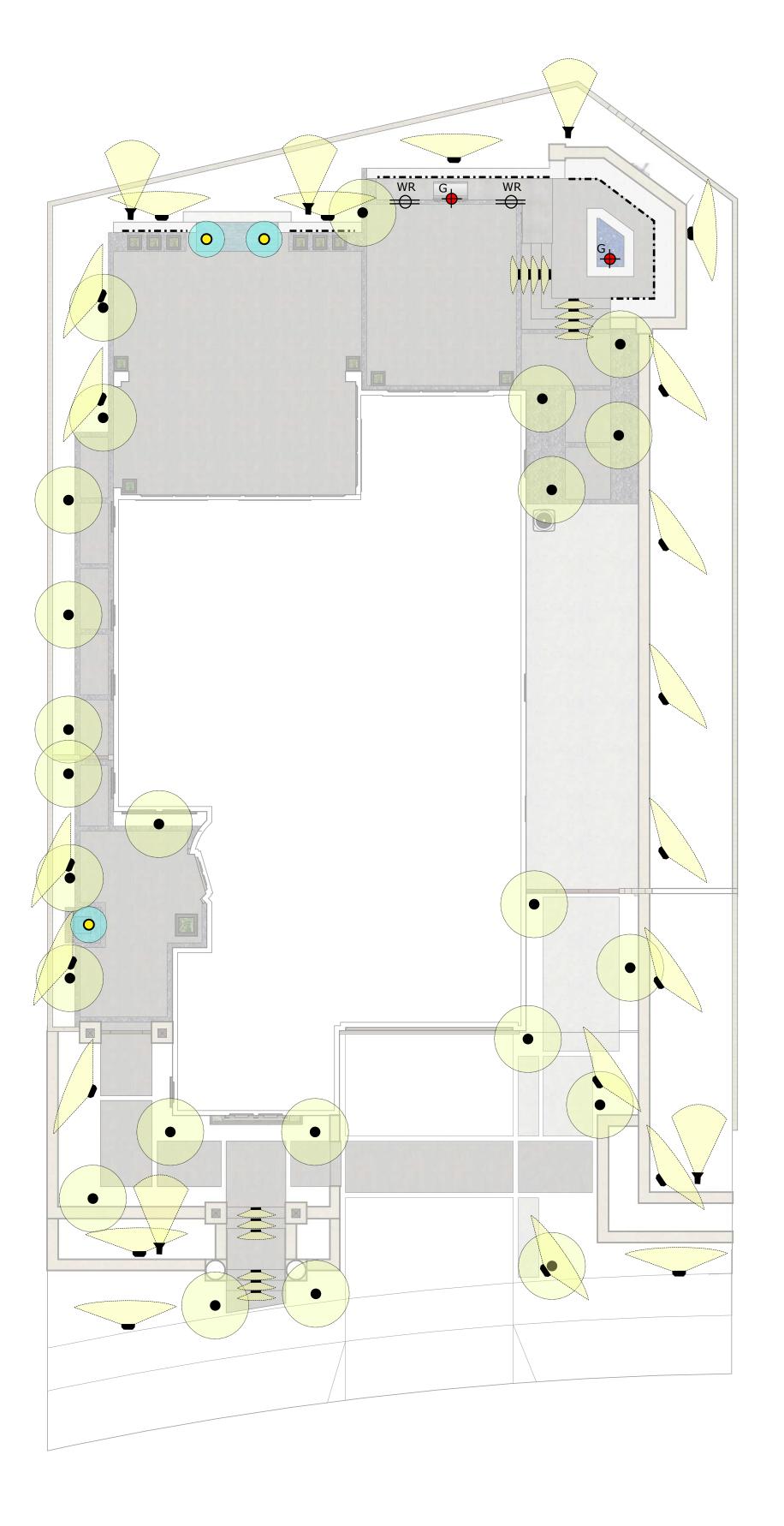




LIGHTING and UTILITIES LEGEND

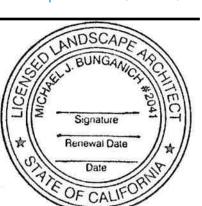


NOTE:
THIS LIGHTING PLAN SHOWING THE PROPOSED LOW VOLTAGE LIGHTING SYSTEM IS FOR DIAGRAMMATIC CONCEPTUAL
PURPOSES ONLY. ACTUAL LIGHTING INSTALLATION WILL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE
DETERMINED BY THE LIGHTING INSTALLER IN ACCORDANCE TO THE DESIGN REVIEW STANDARDS. NO LIGHT SHALL BE
POSITIONED AS TO CAUSE ANY GLARE INTO ADJACENT PROPERTIES.





Brad Morton
Owner, Principal Designer
Michael J. Bunganich
Landscape Architect - CA. Lic 2041

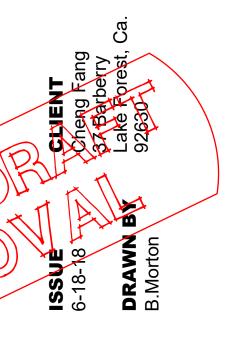


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DEN CE

FANG



Lighting



scale 1/8" = 1'

Renderings



