

1. CONTRACTOR RELATIONSHIP
In the performance of this contract, Contractor shall hold Landscape Designer and Owner harmless from any and all liability, costs and charges arising out of or in connection with, contractors, employees, or its agent's negligence, omissions, errors.

2. ERRORS OR CONFLICTS
If any errors or conflicts are discovered in the plans or notes, they shall be integrated so as to accomplish the real intent of the plans and notes.

3. ADDITIONS, DEVIATIONS AND ALTERATIONS
No deviations or alterations from the plans and specifications shall be permitted unless authorized by the Owner or Landscape Designer. Should deviation from plans and notes become necessary due to conflicting site conditions, Owner and Landscape Designer shall approve in advance any such deviation. No additional work shall be authorized without express written authorization from the Owner.

4. INTERPRETATIONS
The Contractor shall comply with the obvious intent and meaning of the plans and specifications which shall be construed to include all labor, materials, tools and equipment necessary to complete the work specified herein in a workmanlike manner in strict accordance with plans and notes.
Contractor shall refer to Owner and Landscape Designer, whose decision thereon shall be final.

5. OBSERVATION AND REJECTION OF MATERIALS AND WORKMANSHIP
All materials and workmanship furnished or performed by Contractor shall be subject to final observation and acceptance by Owner and Landscape Designer upon completion of all contract work whether previously paid for or not. At any and all times during the performance of this contract, Contractor shall make available for observation, test and approval, materials and workmanship. Failure of such observers to make observation, tests or approvals shall not prejudice the right of the Owner or Landscape Designer on final observation. Contractor shall promptly replace any and all materials, workmanship or equipment which does not conform to the plans or notes. All materials used on this contract shall be new and the best maked quality unless otherwise specified.

6. SAMPLES
When so required by the Owner or Landscape Designer, Contractor shall submit for approval samples of the various materials, and specify finish thereon.

7. LOCAL CODES
All construction shall conform with to all local building codes and ordinances. It is Contractor's responsibility to verify all codes prior to commencing work. All colors, textures and materials shall be complimentary to that of the home and it's design intent. All new materials and design implementation shall conform to the HOA Design Guidelines if they apply.

8. PLANT SYMBOLS
All tree symbols shown on plan are diagrammatic and not intended to encroach over property wall and fences. The images depicted are for illustration purposes only and may differ occe the actual construction is complete. The plant material depicted does not necessarily represent the final landscape installation. Please refer to the Planting Plan for actual specimen and size.

9. THEME
All proposed colors and textures shall be complimentary to that of the home, includin proposed structures, garden art, pottery and hardscape materials; shall match or be complimentary to the style of the existing home's architecture.

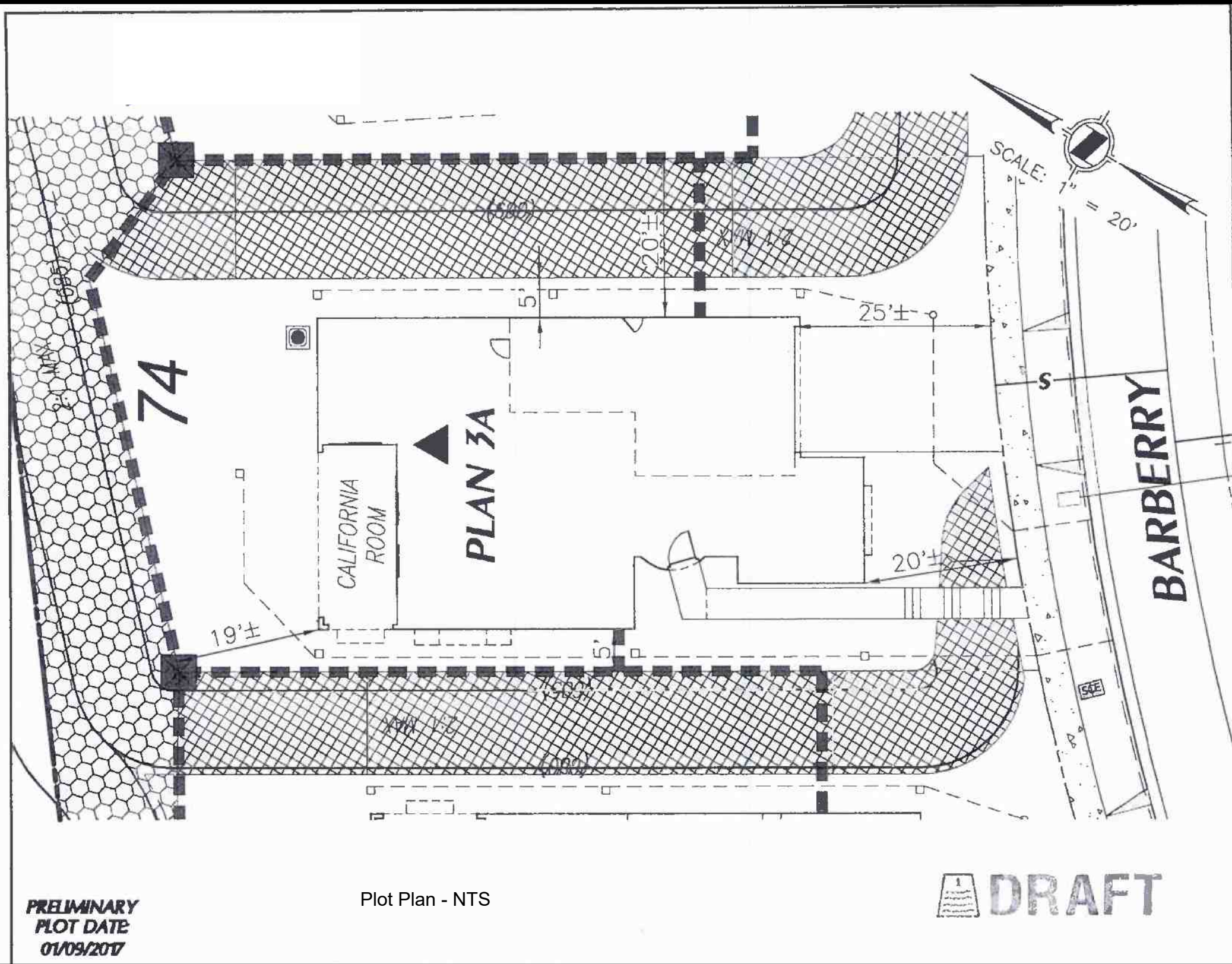
Front and rear hardscape materials to be compatible with house (driveways, walkways, patios, walls, pilasters, etc.).

Do not fill dirt against any existing perimeter walls/fences. Must provide subwall between raised planter areas and existing walls and fences.

Do not attach any new walls to existing walls. Leave an air gap.

All planting areas visible from streets that are not completely covered with shrubs shall receive turf or living ground cover. Ground cover to be planted at 12" maximum on center spacing.

Pool and Spa construction and setbacks to be per local codes/requirements. Pool equipment to be screened from neighbor's second story view.



Porcelain Ammazonia Dragon Black
Exterior porcelain tiles.
Available at Arizona Tile.

RESIDE

Reside Beige 24x24
Porcelain tile accents.
Available at Arizona Tile. Use 12x24 size for veneering.

Bedding Rock -
Black Mexican Pebble

Flagstone veneering.
Real stone. Dry staked.
Tans and neutrals.

- NEW BARBEQUE
- NEW PRE-FAB FOUNTAIN
- NEW BUILT IN FOUNTAIN FEATURE
- NEW RETAINING WALLS
- NEW WOOD GATES
- NEW FIREPIT WITH LOUNGE SEATING
- NEW METAL AWNING
- NEW LOW VOLTAGE LIGHTING
- NEW DRAINAGE TO TIE INTO EXISTING
- NEW LANDSCAPE
- NEW HARDSCAPE

1. INDEX
2. GENERAL PLAN
3. SECTIONS AND ELEVATIONS
4. SKETCHES
5. LANDSCAPE
6. LIGHTING
7. RENDERINGS



FORM C
WATER QUALITY MANAGEMENT
BEST MANAGEMENT PRACTICE GUIDELINES

Page 1 of 2

In order to mitigate the potential water pollution concerns associated with human habitation, the California Water Quality Management Board has set strict guidelines for Baker Ranch's residents regarding the effects of runoff and storm water pollution.

One of the most sensitive and carefully monitored phases of Baker Ranch is the construction period. The requirements are not merely restricted to the development and construction managed by the Builders – construction by Owners will also be scrutinized and subject to very severe fines.

To be certain that you understand and accept responsibility for any violations associated with your proposed improvements; each Owner is required to make a copy of this section. It must be signed and returned by you as a required part of your architectural submittal. You must also make a copy for any contractors or consultants whom you employ to ensure their compliance with these requirements, and you should make them responsible for any fines which you may incur as a result of their violation of same. The Master Association or Neighborhood Association will monitor construction activities as well as check on Best Management Practices; however, the Owner will be solely responsible for any fines incurred by the Master Association or Neighborhood Association as a result of infractions initiated at Owner's Residence. The Master Association or Neighborhood Association will take whatever legal action is necessary to ensure compliance and collect for infractions charged to the Master Association or Neighborhood Association as a result of Owner or Owner's contractor's or consultant's acts or negligence or failure to comply with these requirements.

The following requirements are not meant to be all-inclusive of Regional Water Quality Control Board requirements or of any other agency. It should be understood that any applicable agency's rules and requirements may/will be applied and may supersede these Guidelines. All resulting fines imposed on the Master Association, or Neighborhood Association or the Owner will be the responsibility of the Owner.

1. No construction materials, chemicals or substances may be disposed of or poured into the area drains, street and/or gutter.
2. Area drains should be shielded and/or covered to ensure that construction by-products and/or chemicals are not washed into them.
3. No tools or equipment may be rinsed off on the property in a manner that causes the water to reach the area drains, street and/or gutter.
4. No unprotected stockpiling of sand, gravel, dirt or other materials in the street is permitted.
5. Any sand, gravel, dirt or other materials piled/stored on the driveway or Owner's Lot must be effectively covered to prevent rain or irrigation water runoff from carrying material residue into the area drains, street and/or gutter.
6. In the event of a runoff event or spill, sandbags must be strategically placed to ensure that no substance makes its way into the area drains and/or storm drains.
7. Hoses and/or irrigation should not be allowed to run in a manner that causes water or any substance to wash into the area drains, street and/or gutter.
8. Containers for hazardous materials such as paint, concrete, chemicals, etc. must be in good condition and not allowed to spill or leak onto the ground or be washed into the area drains, street and/or gutters.
9. No products or chemicals should be buried for disposal.
10. Trash and debris should be properly contained and disposed of off site.
11. No vehicles or equipment should be allowed to leak oil anywhere.
12. No portable restroom facility may be allowed in the street and those stored on the Owner's property must be in proper working order so that no waste leaks.
13. Pesticides and/or fertilizers must be monitored and properly used and stored.
14. No irrigation runoff should reach the street and/or gutter as such runoff may carry chemicals from pesticides, fertilizers, etc., into the storm drain.

THE BASIC GOAL IS TWO-FOLD:

1. No materials, other than rainwater, should be allowed to flow into the area drains and/or storm drains.
2. No chemicals or products should be allowed to contaminate the groundwater supply.

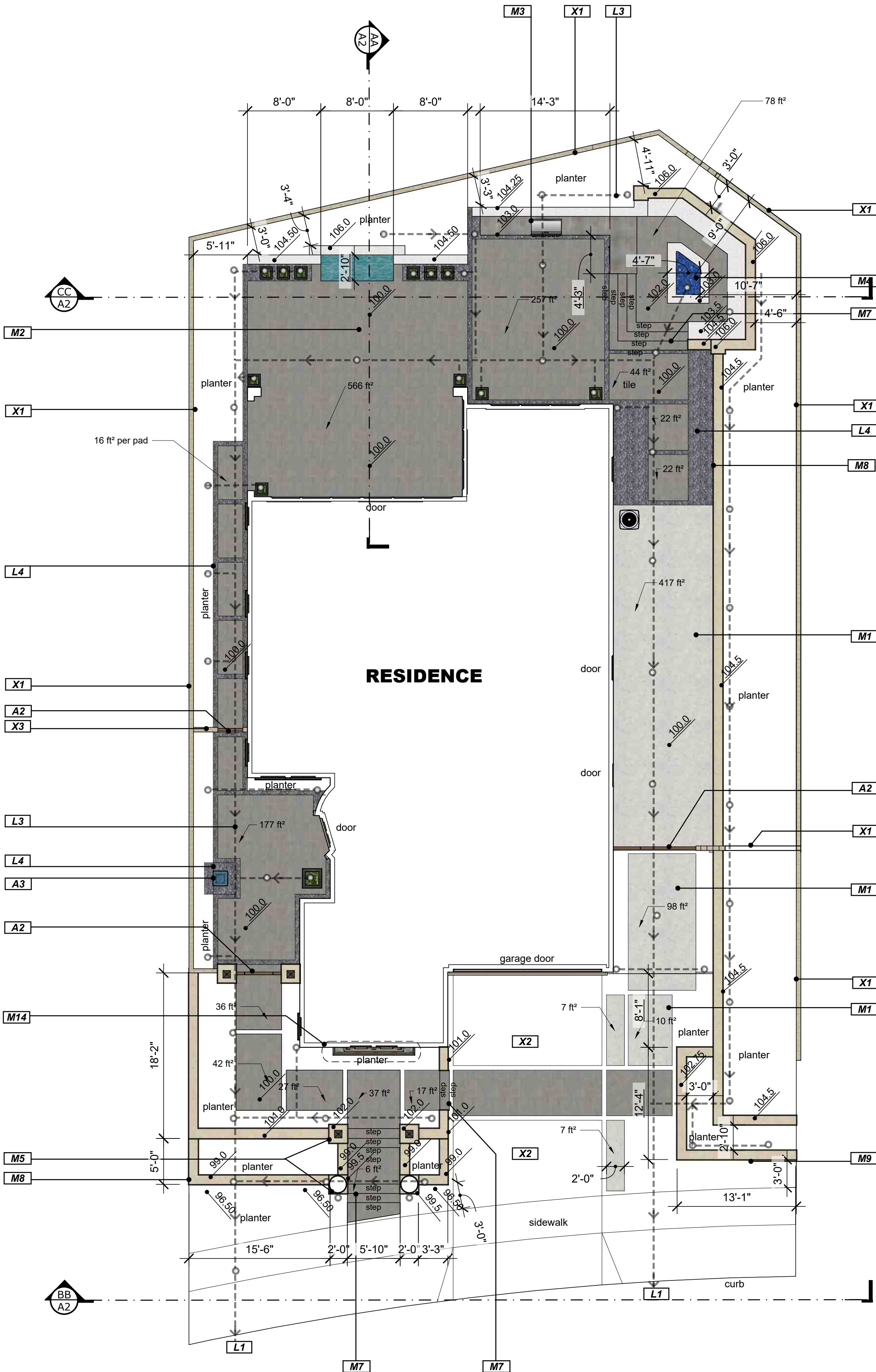
I am the homeowner of record for the residence noted below. I have read and understand the Water Quality Management – Best Management Practice Guidelines and agree to inform my contractors and consultants of same and to diligently pursue their compliance with such guidelines. I also understand my liability in the event of an infraction resulting in a fine against me, the Master Association or Neighborhood Association. I understand that I will be held personally responsible for any fines and/or fees levied against me, the Master Association, or Neighborhood Association as a result of any infractions caused by me, my contractors and my consultants in connection with the construction, maintenance, or activities on my Lot.

Signature _____ Date _____
Name _____ Project Name & Builder _____

GENERAL LANDSCAPE NOTES

1. ALL LANDSCAPE CONSTRUCTION SHALL CONFORM TO CITY BUILDING CODES AND STANDARD DRAWINGS.
2. ALL PLANTING AREAS TO RECEIVE A 2" LAYER OF 'FOREST FLOOR' MULCH AT THE COMPLETION OF PLANTING.
3. PROVIDE LINEAL ROOT BARRIERS FOR ALL TREES AND PODOCARPUS WITHIN 9' OF EDGE OF WALLS AND PAVING.
4. THE PROPERTY OWNER WILL CONTINUALLY MAINTAIN ALL LANDSCAPE AREAS PER ASSOCIATION GUIDELINES.
5. CONTACT DIG-ALERT PRIOR TO ANY EXCAVATIONS TO LOCATE ALL UNDERGROUND UTILITY LOCATIONS FOR GAS LINES, WATER LINES, SEWER LINES AND UNDERGROUND ELECTRICAL SERVICE.
6. APPLY 'ROUND-UP' TO ALL LANDSCAPE AREAS FOR A COMPLETE WEED KILL PRIOR TO PLANTING.
7. SOIL PREPARATION ALL PLANTING AREAS TO BE CULTIVATED WITH THE FOLLOWING AMENDMENTS:
GREENWAY BEST SOIL CONDITIONER OR EQUAL PER MANUFACTURER SPECIFICATIONS
GYPSUM 50 LBS. PER 1000 SQ. FT. IF REQUIRED
GROPOWER PREMIUM GREEN IRON PER MANUFACTURER SPECIFICATIONS
GROPOWER PLUS FERTILIZER 30 LBS. PER 1000 SQ. FT. PER MANUFACTURER SPECIFICATIONS
APPLY GROPOWER SLOW RELEASE 7 GRAM PLANTING TABLETS TO ALL NEW PLANTINGS
8. ALL STRUCTURAL DESIGN AND ENGINEERING FOR THE ATTACHED SHADE LOGGIA SHALL BE PROVIDED BY THE PROJECTS STRUCTURAL ENGINEER AND SHALL CONFORM TO CITY STANDARD PLANS, DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL OBTAIN ALL CITY APPROVALS, PERMITS AND INSPECTIONS AS REQUIRED.
9. ALL STRUCTURAL DESIGN FOR THE SPA/ WATER FEATURE SHALL BE PROVIDED BY THE PROJECT SPA CONTRACTOR AND SHALL CONFORM TO CITY STANDARD PLANS, DETAILS AND SPECIFICATIONS. SPA CONTRACTOR SHALL OBTAIN ALL CITY APPROVALS, PERMITS AND INSPECTIONS AS REQUIRED.
10. ALL GATES AND DOOR ALARMS SHALL CONFORM TO SPA SAFETY REQUIREMENTS
11. LANDSCAPE CONTRACTOR SHALL OBTAIN ALL HOA APPROVALS, CITY PERMITS AND INSPECTIONS AS REQUIRED.
12. REFER TO PROJECT SOIL REPORT AND STRUCTURAL ENGINEERING DETAILS AND SPECIFICATIONS FOR ALL WALL AND PAVING CONSTRUCTION INCLUDING BASE PREPARATION, STEEL REINFORCEMENT AND CONCRETE MIX SPECIFICATIONS.

PROPOSED METHOD OF IRRIGATION
ALL PLANTING AREAS WILL BE AUTOMATICALLY IRRIGATED USING LOW FLOW 'NETIFIM', BUBBLERS, DRIP EMITTERS, AND LOW FLOW POP UP SPRAY HEADS WITH PERCISION NOZZLES.
PROVIDE A PRESSURE REGULATOR AT POINT OF CONNECTION FOR THE IRRIGATION SYSTEM.
INSTALL IRRIGATION BACKFLOW DEVICES PER CITY STANDARDS AND MANUFACTURES SPECIFICATIONS.
PROVIDE BUBBLERS OR DRIP TO ALL NEW TREES AND 15 GAL ACCENT PLANTS.
PROVIDE PRESSURE CHECK VALVES AS REQUIRED TO PREVENT ANY LOW HEAD DRAINAGE
PROVIDE A NEW 'SMART' IRRIGATION CONTROLLER MOUNTED IN GARAGE
ALL IRRIGATION PRESSURE MAINLINES TO BE PVC SCH 40, MIN. 18" DEEP AND INSTALLED IN PVC SLEEVES WHEN UNDER PAVED AREAS.
ALL IRRIGATION NON PRESSURE LATERALS TO BE PVC SCH 40, MIN. 12" DEEP AND INSTALLED IN PVC SLEEVES WHEN UNDER PAVED AREAS.
ALL IRRIGATION EQUIPMENT TO BE PROFESSIONAL GRADE BY 'TORO' OR APPROVED EQUAL. INSTALL ALL EQUIPMENT PER MANUFACTURED DETAILS AND SPECIFICATIONS.
PROVIDE IRRIGATION SYSTEM FOR 100% COVERAGE WITH NO OVERSPRAY ONTO SIDEWALKS, STREETS, BUILDINGS, WALLS AND STRUCTURAL ELEMENTS
WATER SUPPLY SHALL BE FROM THE POTABLE WATER METER.
ALL IRRIGATION SHALL CONFORM TO THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE.



KEY NOTES

EXISTING CONDITIONS/DEMO NOTES

- X1 Existing masonry wall to remain.
- X2 Existing driveway. Sawcut to accommodate proposed stone and banding inlays.
- X3 Existing masonry wall return to house. Notch for new wood gate/access.

MASONRY NOTES

- M1 New concrete decking. Natural colored, washed finish.
- M2 Porcelain tile decking over new and existing (under balcony) concrete sub-decking.
- M3 New barbeque. All appliances to be purchased by contractor and installed by contractor. Provide gas and electrical to location. Slab type countertop design slab to be selected by owner, installed by contractor. Stucco veneer to match existing stucco on home.
- M4 New firepit. Provide gas to location with valve. Interior fill material to be determined by owner, installed by contractor.
- M5 New pilaster. Stone veneering with precast concrete cap. See plan for height callouts. Stub for decorative low voltage lighting and/or potted planter.
- M6 Porcelain tile stepping pads set on concrete sub-deck. See materials list for type and color.
- M7 Steps. Porcelain tile over concrete sub-deck.
- M8 New retaining wall. CMU construction. See plan for height. Stucco veneer with poured in place cap. Design by structural engineer.
- M9 New retaining wall. CMU construction. See plan for height. Stone veneer with poured in place cap. Design by structural engineer.
- M10 New masonry fountain feature with decorative porcelain tile finish. Separate equipment set on side yard.
- M11 New masonry planter wall with living wall feature. Veneer to be decorative porcelain tile finish. See materials notes for type.
- M12 New masonry planter wall with living wall feature. Veneer to be decorative porcelain tile finish. See materials notes for type.
- M13 New masonry lounge seating surrounding firepit. Tile veneer and cap with poured in place wall cap. See materials list for details.
- M14 New stone veneering overlay on existing stucco apron.
- M15 New full height pilaster (6'-6") at proposed new gate. Stone veneering with precast concrete cap. See plan for height callouts. Stub for decorative low voltage lighting and/or potted planter

ACCESSORY NOTES

- A1 New wood gate. Stain grade wood finish. See detail for stain color.
- A2 New wood gate and fence return, with frosted glass window. Stain grade wood finish. See detail for stain color.
- A3 New prefab water feature with black rock "waterless basin". Height not to exceed 36" from surrounding grade. Owner to select fountain, contractor to install. Fixture to fit design theme of home. Use submersible pump for this particular feature. Provide electrical service for fountain, connected to time clock.

STRUCTURE NOTES

- S1 New iron trellis off home. Powder coated steel to match iron details of home/balcony railing. Supported from diagonal bracing.

LANDSCAPE NOTES

- L1 Existing drainage to remain where possible. Tie all new deck and yard drainage new system into existing at point of new construction.
- L2 Potted planter location. Owner to purchase pots, contractor to install. Provide drip irrigation to each location and 2" PVC drain.
- L3 New 4" SDR35 Drainage system throughout project. All new. Tie into existing system at edge of new work/existing work. All new water to exit through existing curb core. 2% min. fall for all landscape drainage, 1% for all hardscape.
- L4 Black Mexican pebble planter bed where shown. Set on weed barrier.

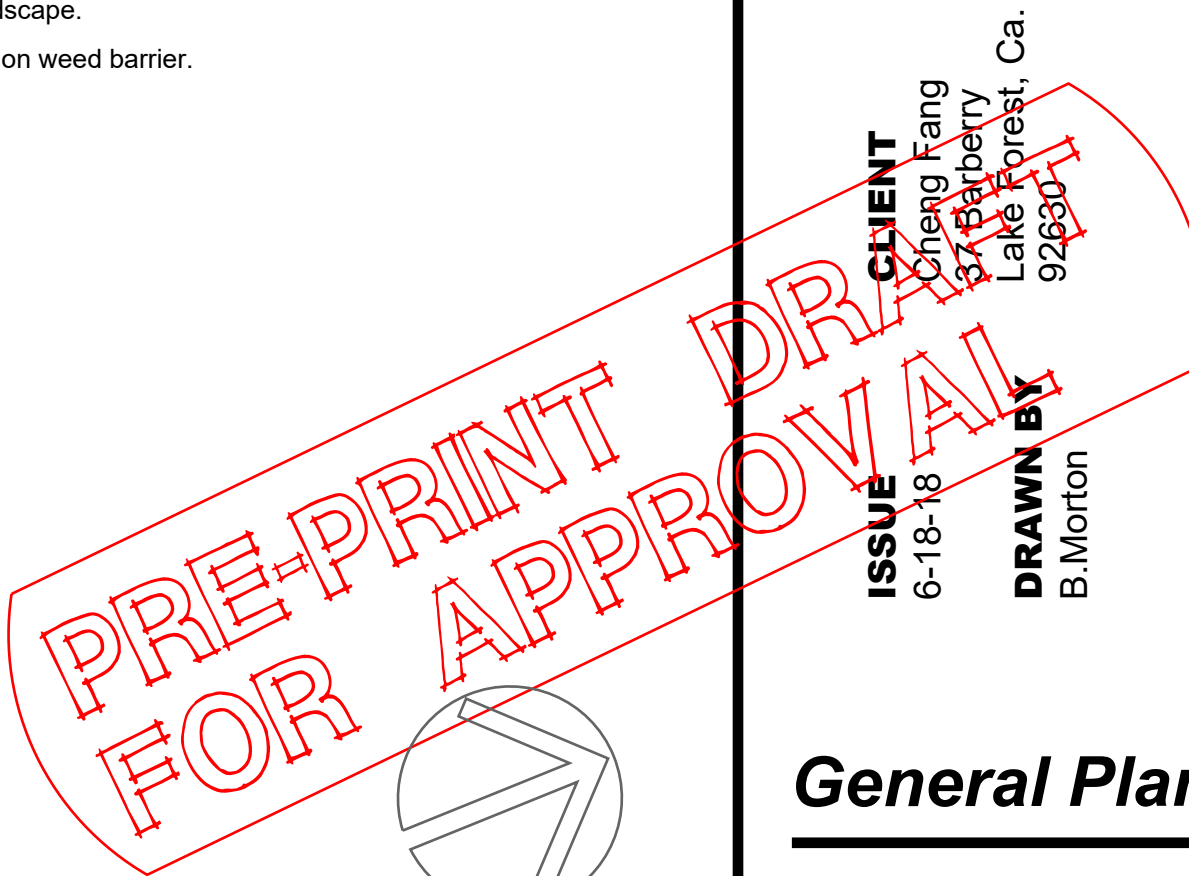
Brad Morton
Owner, Principal Designer
Michael J. Bunganich
Landscape Architect - CA Lic. 2041



16 STYLE DRIVE
ALISO VIEJO
CA. 92656
www.MortonDesignGroup.com

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FANG RESIDENCE

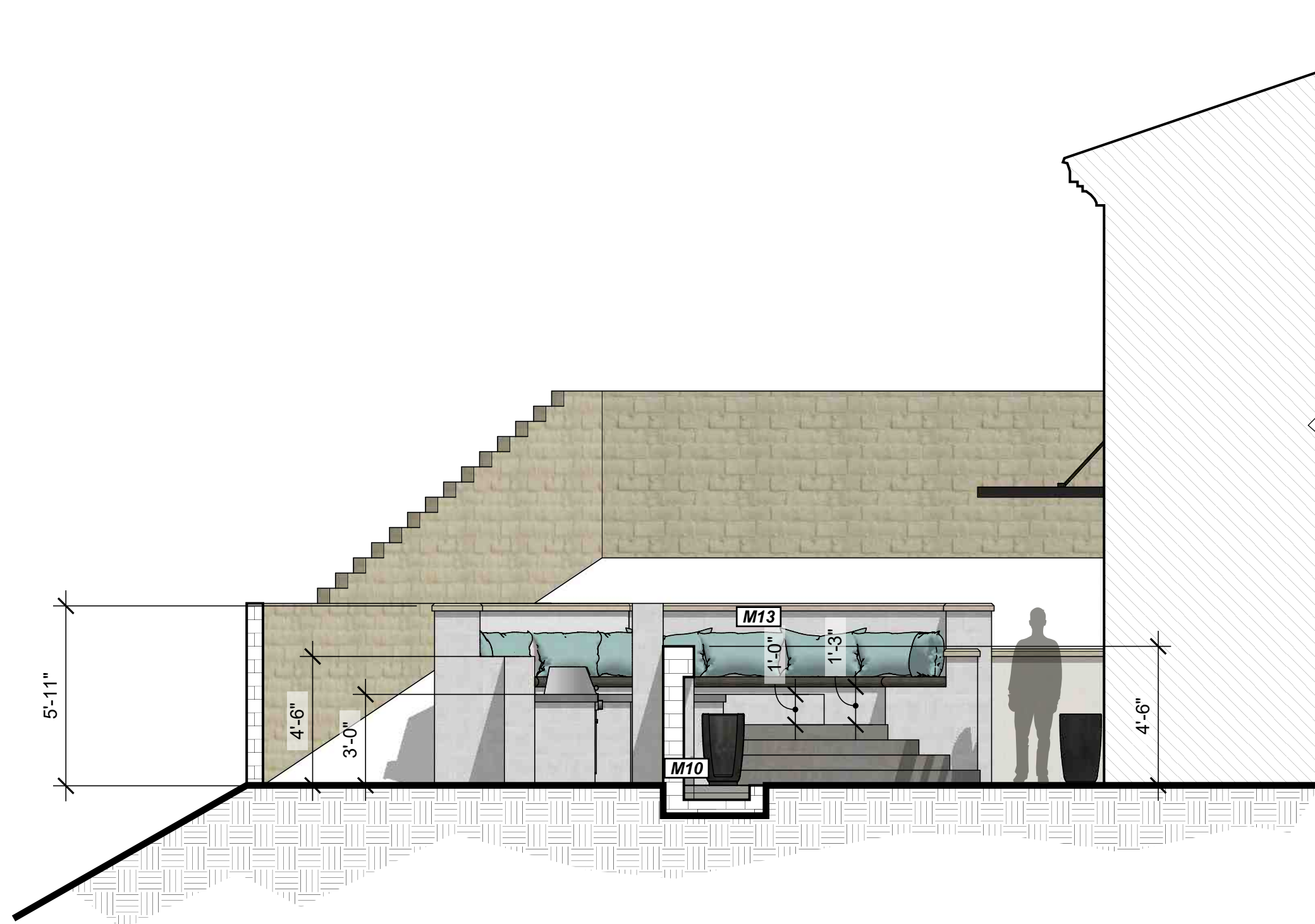


CLIENT
Cheng Fang
17180 Lake Forest Dr.
Lake Forest, Ca.
92650
ISSUE
6-18-18
DRAWN BY
B. Morton

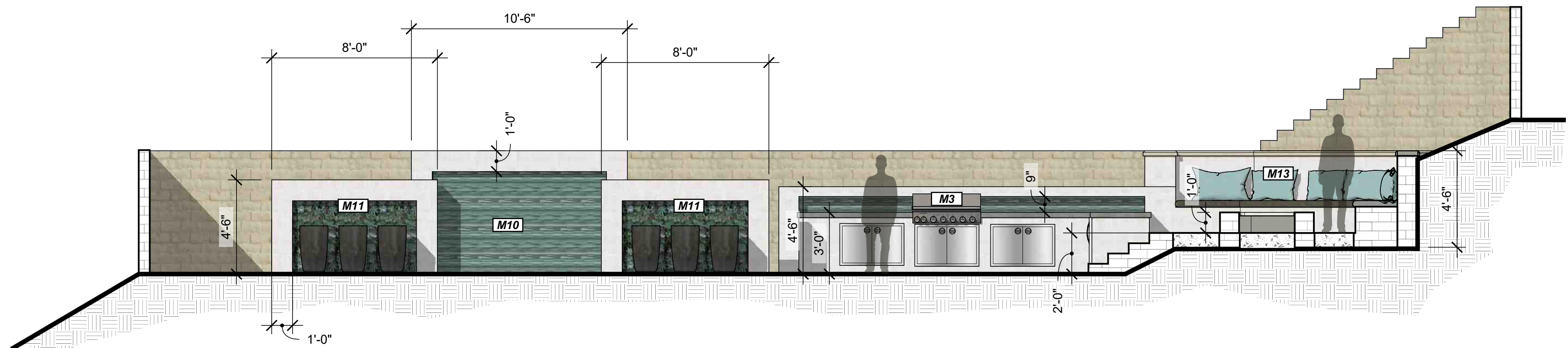
General Plan

A.02

scale 1/8" = 1'



AA South Section
A2 1/4" = 1'



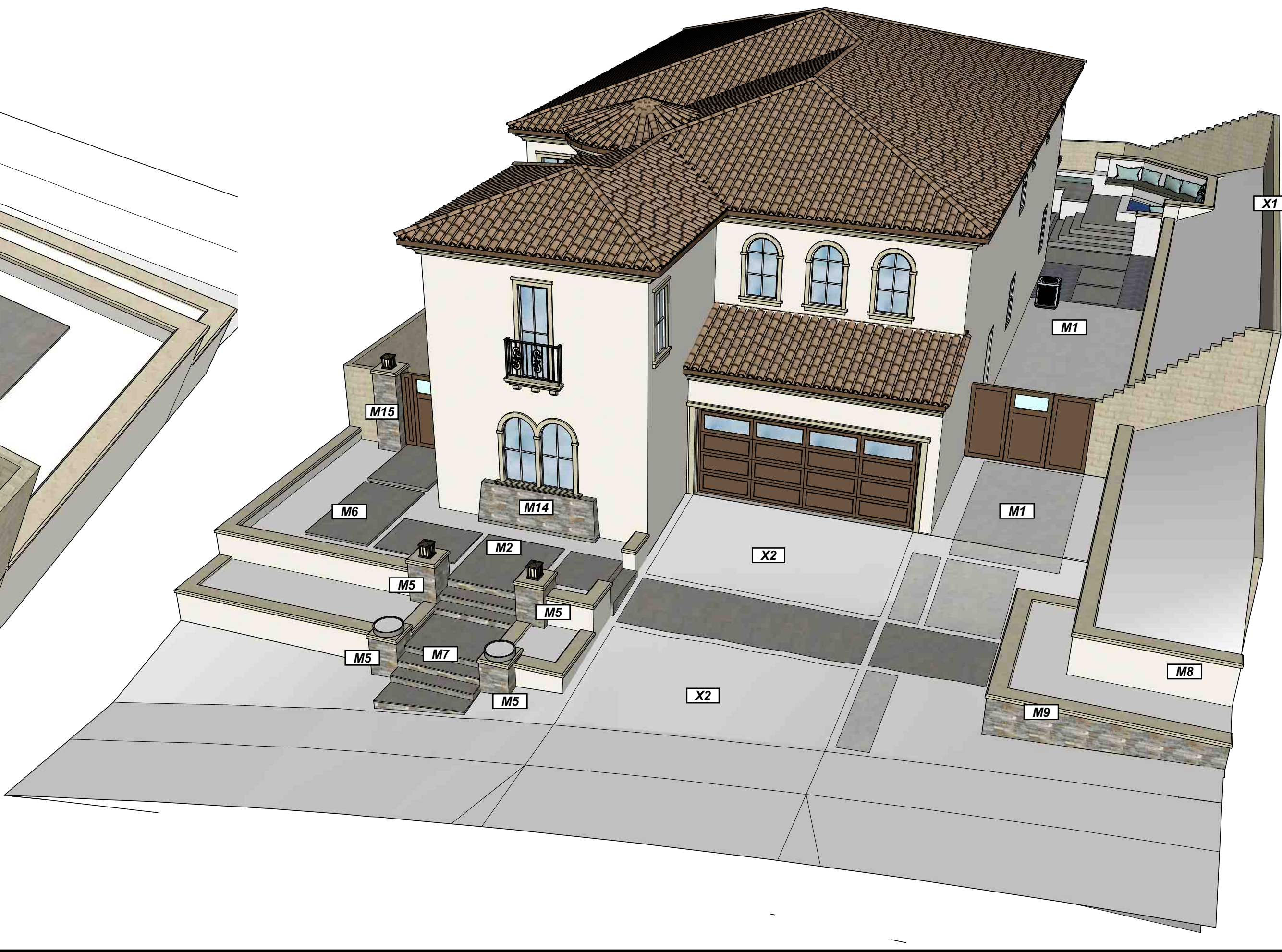
CC East Section
A2 1/4" = 1'



BB East Elevation
A2 1/4" = 1'



DD West Elevation
A2 1/4" = 1'



MORTON
DESIGN
GROUP

Brad Morton
Owner, Principal Designer
Michael J. Bunganich
Landscape Architect - CA, Lic. 2041



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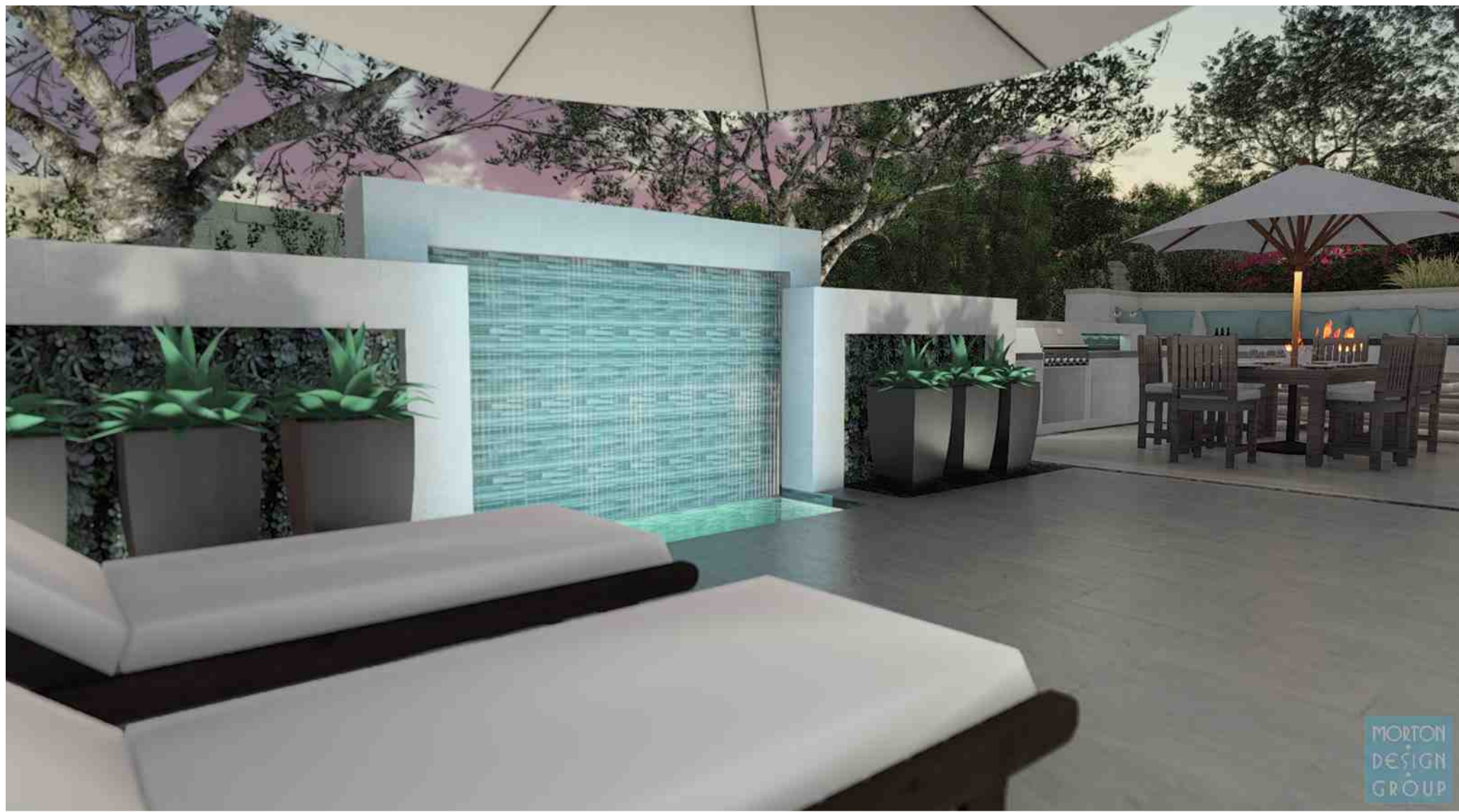
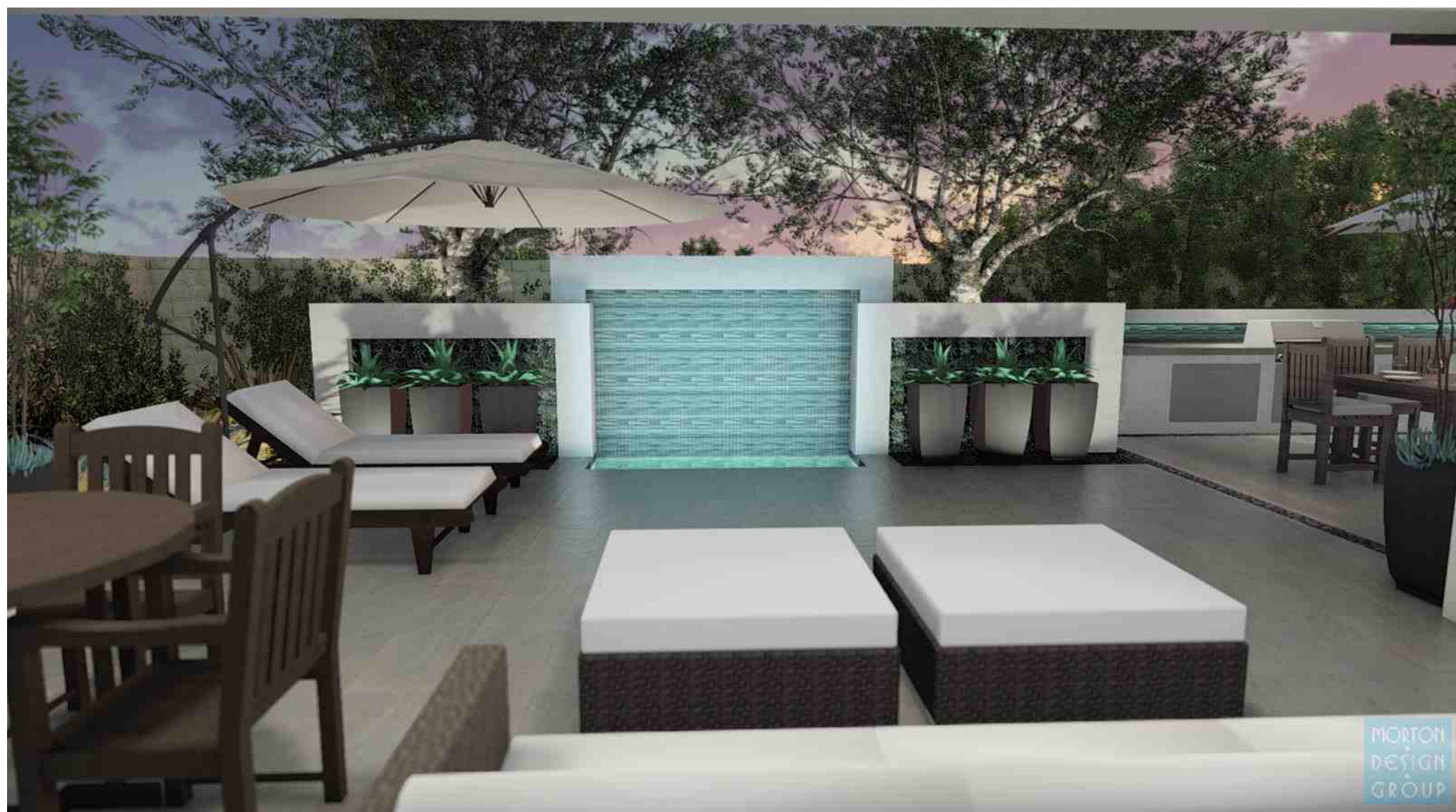
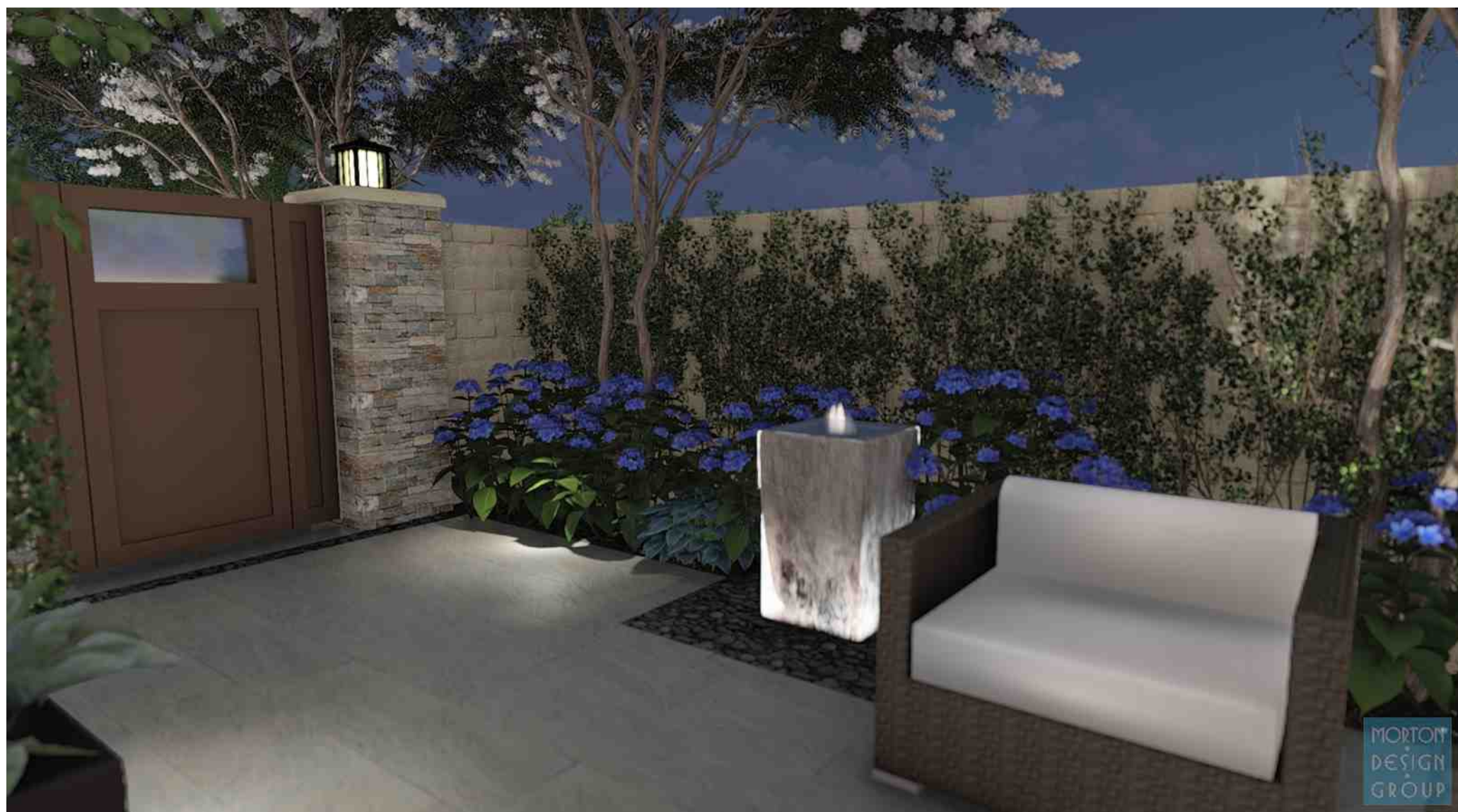
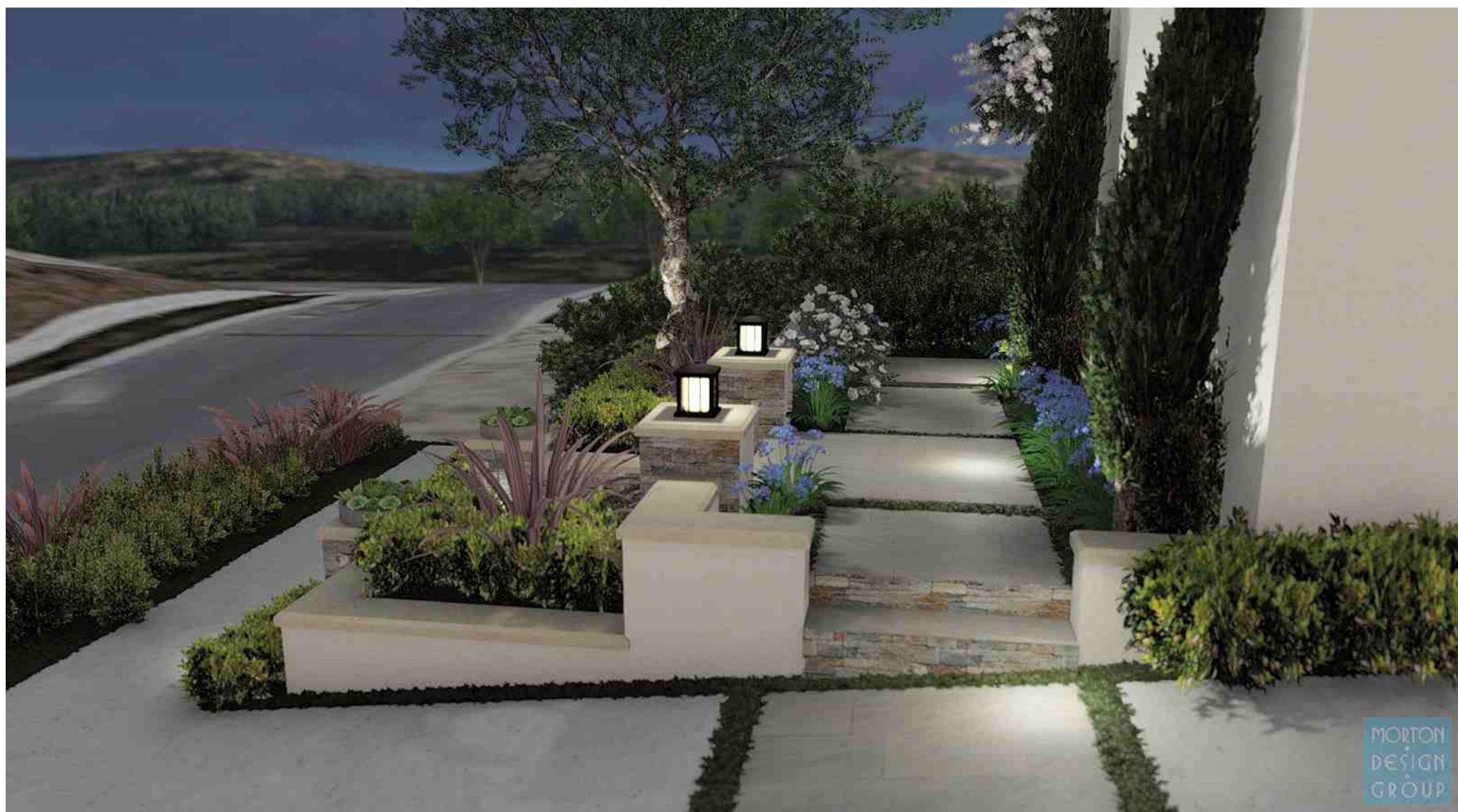
FANG RESIDENCE

CLIENT
Cheng Fang
37380 Lakehurst, Ca. 92646
ISSUE
6-18-18
DRAWN BY
B. Morton

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Sketches

A.04



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